



COMMUNITY DEVELOPMENT DEPARTMENT

Quincy Yaley, AICP
Director

Land Use and Natural Resources – Housing and Community Programs – Environmental Health – Building and Safety – Code Compliance

Date: February 13, 2024
To: Interested Stakeholder
From: Tuolumne County Community Development Department
RE: Conditional Use Permit LUNR-23-14
Assessor's Parcel Number: 066-250-045

48 Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
(209) 533-5633
(209) 533-5616 (Fax)
(209) 533-5909 (Fax – EHD)
www.tuolumnecounty.ca.gov

The Community Development Department thanks you for your participation in the land development process in Tuolumne County. We value your comments and look forward to your continued participation in our planning process. This process provides information on your requirements and concerns to the applicant early in the review process. Involvement on your part can eliminate or minimize problems that could arise later.

Applicant(s): Robert Boyer
Owner: Robert Boyer

Project: The Community Development Department (CDD) has received an application for the following:

Conditional Use Permit LUNR-23-14 to allow the construction of a resort development including:

- The facilitation of a Lot Line Adjustment between Firefall Lodge and Smith Station properties to provide preferred cabin expansion layout on Smith Station property.
- 56 new guest rooms (30,000 sq ft).
- Road network associated with the development.
- New septic system for new development, with sewer lines and pumps.
- Expand existing water, power, data utilities throughout property as required.
- New Residence with garage, pool, and septic system.
- A pedestrian walking trail throughout the Smith Station property, connected to the Firefall Lodge. Sections of the walkway to be raised decking through the meadow. Walkway passes through proposed Open Space and crosses multiple drainages.
- Up to 8 crossings of the main drainage are anticipated which will incorporate pedestrian, utility and small vehicle crossings as needed. The final location of crossings to be determined during construction.
- Employee housing buildings and a utility barn with potential artist loft spaces.
- Commercial area at the intersection of Smith Station Rd and HWY 120 that includes:
 - Removal of existing house
 - Brewery (Bar area, retail, restrooms, and outdoor seating)

- Access onto Smith Station Rd
- New well, water treatment, and storage tank
- Renovation of existing historical barn into a functional space
- Dedication of Open Space zoning along the main drainage. Providing a continuation of Open Space from Firefall project.
- Team Building Recreation Facilities (Ropes Challenge Course): Location TBD

Location: The project site is located approximately ±500ft southeast of the intersection of State Highway 120 and Smith Station Road, in the community of Groveland. Within a portion of Section 33, Township 1 South, Range 17 East Mount Diablo Baseline and Meridian. The project site is located within Supervisorial District 4. Assessor’s Parcel Number 066-250-045.

Lot Size: 158.10± Acres

Zoning: Exclusive Agricultural, 37-Acre Minimum (AE-37) and Public (P)

General Plan: Agricultural (AG)

Access: HWY 120 / Smith Station Rd

Sewage Disposal Method: Septic

Water Source: Well

Fire District: Smith Station #63

School District: Groveland Elementary & Tioga Highschool

Fire Hazard Rating: Very High Fire Hazard Severity Zone

Lot Elevation: ±3,030' - ±3.290'

Additional Information:

1. Agricultural uses are proposed to continue on the property: livestock grazing in the meadow

Please return your comments to the CDD by **March 5, 2023**.

Staff Contact: Clark Sintek
 Phone: (209) 533-5614
 Email: csintek@co.tuolumne.ca.us

AGENCY/INDIVIDUAL: Groveland Community Services District

COMMENTS: See attached.

Per Tuolumne County Ordinance Code, the CDD will only be notifying property owners within 1000 feet via mail of future public hearings and will not notify individuals or agencies via email. The notification link below is the only way to request and receive email notifications.

To ensure future public hearing notifications are received, please utilize the link below to sign up in the Tuolumne County Notify Me Page to receive notices via email:



<https://www.tuolumnecounty.ca.gov/list.aspx>

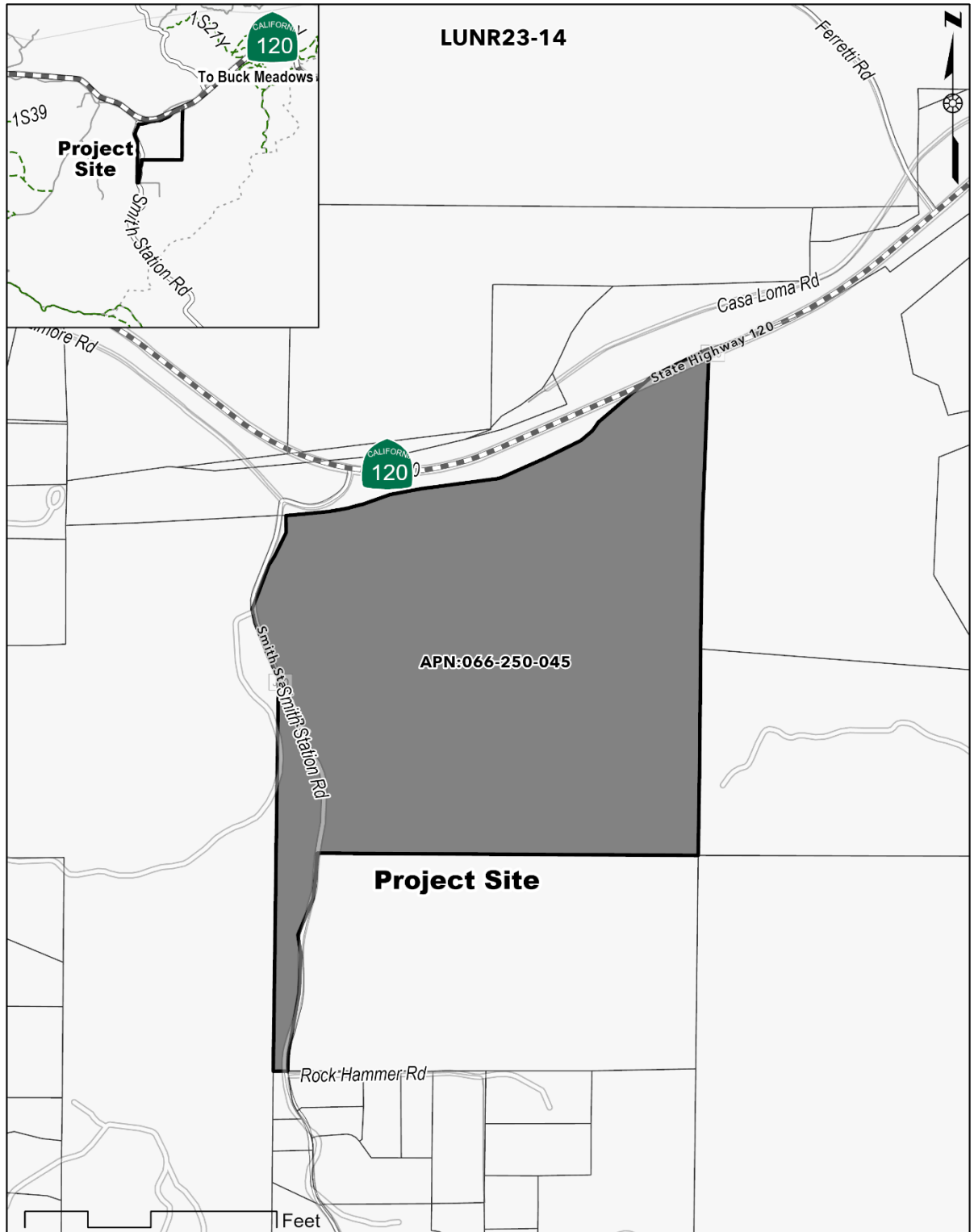
Signed by: *Jennifer Donabedian*

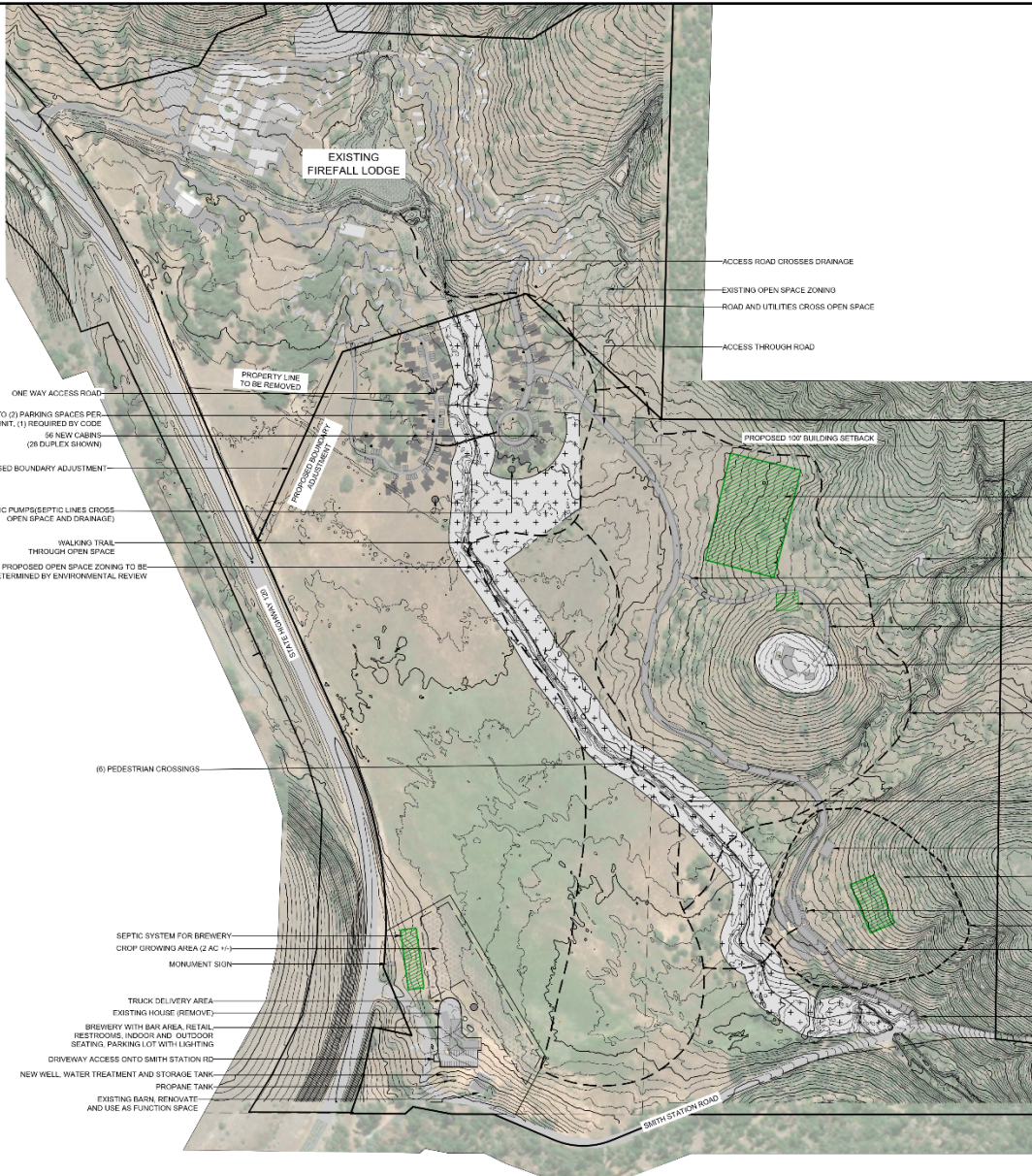
Agency: Groveland Community Services District

Date: 3/5/2024

S:\Planning\PROJECTS\LUNR Projects\2023\LUNR-23-14 Boyer (Firefall 2.0 CUP)\Application Review\LUNR-23-14 Boyer Stakeholder 20240129.docx

Please utilize the following link, or scan QR code to sign up and receive future notices that may include the above-mentioned project:	Planning Stakeholder Notification letters are posted at the following link:
https://www.tuolumnecounty.ca.gov/list.aspx	https://www.tuolumnecounty.ca.gov/1512/Planning-Stakeholder-Notifications
	





SITE INFORMATION

ADDRESS: 1 HIGHWAY 100 / SMITH STATION ROAD GROVELAND 95321
 APN: 360-23-45
 S.D.C.: 47741806
 LOT SIZE: 163,364 ACRES
 SEWER: TREAT SEPTIC
 WALK: PRIVATE WALK
 GENERAL PLAN: AGRICULTURAL USE
 ZONING: AF-32 & P
 FIRE DISTRICT: SMITH STATION # 93
 SCHOOL DIST: GROVELAND ELEMENTARY SCHOOL DISTRICT & TODD HIGH SCHOOL DISTRICT
 LOT ELEVATION: 13,639 - 13,247

SHEET INDEX

1. TITLE SHEET
2. 30' VERTICAL LOOP
3. CONCEPT / RFP OFF-ART AREA

PROJECT DESCRIPTION

1. PROCESS LEGISLATIVE ACT AND HEALTH DEPT. 1. HEALTH LOCAL AND SMITH STATION PROPERTIES TO PROVIDE PREPARED CONCEPT LAYOUT ON SMITH STATION PROPERTY.
2. MAINTAIN EXISTING ZONING AND GENERAL PLAN LAND USE DESIGNATION. PROCESS A CONCEPTUAL DEVELOPMENT PLAN FOR THE PROPERTY.
3. CONSTRUCT SIX NEW DUPLEX HOMES ON THE SMITH STATION PROPERTY (TOTAL 12 UNITS) (TOTAL OF 24 UNITS TOTAL 24 UNITS) (12 UNITS).
4. CONSTRUCT ONE NEW PROPOSED 10' BUILDING SETBACK WITH THE NEW DUPLEX AREA.
5. CONSTRUCT NEW SEPTIC SYSTEM (NEW BUILDINGS WITH HEALTH DEPT. AND HEALTH DEPT.).
6. FINISH EXISTING WATER, POWER, CATASTROPHIC INSULATION PROPERTY AS REQUIRED.
7. CONSTRUCT A NEW DRIVEWAY FROM FIREFALL LODGE THROUGH THE SMITH STATION PROPERTY TO SMITH STATION ROAD (GATE ACCESS ONLY).
8. CONSTRUCT A NEW WALKING TRAIL THROUGHOUT THE SMITH STATION PROPERTY, CONNECTED TO THE FIREFALL LODGE. (SETBACKS OF PROPERTY TO BE DETERMINED THROUGH THE APPROVAL. (NEW WALKING TRAIL THROUGHOUT PROPERTY AS REQUIRED).
9. CONSTRUCT A NEW WALKING TRAIL THROUGHOUT THE SMITH STATION PROPERTY, CONNECTED TO THE FIREFALL LODGE. (SETBACKS OF PROPERTY TO BE DETERMINED THROUGH THE APPROVAL. (NEW WALKING TRAIL THROUGHOUT PROPERTY AS REQUIRED).
10. UP TO 10 CROSSINGS OF THE NEW WALKING TRAIL THROUGHOUT THE SMITH STATION PROPERTY, CONNECTED TO THE FIREFALL LODGE. (SETBACKS OF PROPERTY TO BE DETERMINED THROUGH THE APPROVAL. (NEW WALKING TRAIL THROUGHOUT PROPERTY AS REQUIRED).
11. CONSTRUCT FOUR OFF-OPENING BUILDINGS AND A UTILITY BARN WITH POTENTIAL ARTIST LOFT SPACES.
12. INSTALL A COMBINATION METAL / WOOD BUILDING OFF-OPENING WHICH WILL BE USED FOR STORAGE AND OFF-OPENING. (NEW BUILDING OFF-OPENING WHICH WILL BE USED FOR STORAGE AND OFF-OPENING).
13. INSTALL A COMBINATION METAL / WOOD BUILDING OFF-OPENING WHICH WILL BE USED FOR STORAGE AND OFF-OPENING. (NEW BUILDING OFF-OPENING WHICH WILL BE USED FOR STORAGE AND OFF-OPENING).
14. DEDICATE AN OPEN SPACE ZONING AND THE BARN BUILDING FOR EMPLOYEE HOUSING FROM PROFESSIONAL SERVICE PROVIDER. (NEW BUILDING OFF-OPENING WHICH WILL BE USED FOR STORAGE AND OFF-OPENING).
15. AGRICULTURAL USES ARE PROPOSED TO CONTINUE ON THE PROPERTY PER EXISTING ZONING. ALLOWABLE HOUSING SPACING IS 10' BUILDING.
16. SITE AMENITIES COULD BE ADDED FOR TRAILER HOUSING (PROFESSIONAL FACILITIES SUCH AS A BOPPS CHAIR, PROP. EQUIP. LOCATION TO BE APPROVED).

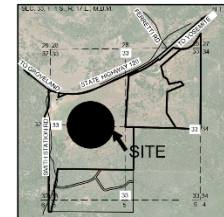
QUANTITIES

1. CARRIS AND ASSOCIATED ROADWAYS	10 AC +/-
2. RESIDENTIAL AREA	6.5 AC +/-
3. COMMERCIAL AREA	6.5 AC +/-
4. EMPLOYEE HOUSING AREA	6.5 AC +/-
5. SEPTIC SYSTEMS	6.5 AC +/-
TOTAL APPROXIMATE AREA OF IMPROVEMENT IMPACT	27.5 AC +/-
GRADING	
CUT / FILL	5,000 CY +/-

CONDITIONAL USE PERMIT APPLICATION DEC 2023

VICINITY MAP

NTS



REVISIONS:

REV	DATE	DESCRIPTION

OWNER INFORMATION:
 BOYER TRUST
 23050 COFFILL ROAD
 TWIN HARTS, CA 95383
 PH 209.768.1959

SITE INFORMATION:
 47N 666 250 945
 Groveland, California 95321

PROJECT INFORMATION:

A Site Improvement Plan for:
Firefall Smith Station Expansion
Groveland, California 95321
 PH 209.768.1959

ENGINEER OF RECORD:

PRELIMINARY

12/19/2023

ISSUE DATE: 12/19/2023

DRAWN BY: RC

CHECKED BY: ZPG

SCALE: 1" = 200'

DRAWING: CONCEPT

PROJECT NO: 20-05-32

SHEET: 1 OF 3

REVISIONS:

REV	DATE	DESCRIPTION

OWNER INFORMATION:
BOYER TRUST
23050 COFFILL ROAD
TWIN HARTS, CA 95383
PH 209.768.1959

SITE INFORMATION:
APN 086-250-045
Groveland, California 95321

PROJECT INFORMATION:
A Site Improvement Plan for
Firefall Smith Station Expansion
Groveland, California 95321
Ph 209.768.1959

ENGINEER OF RECORD:



ISSUE DATE: 12/19/2023

DRAWN BY: RC

CHECKED BY: ZPG

SCALE: 1" = 80'

DRAWING: CONCEPT

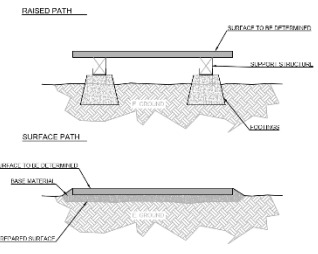
PROJECT NO: 20-05.32

SHEET: **2** OF: **3**

LEGEND & ABBREVIATIONS

- PROPERTY LIP
- RAW ROAD TRAIL
- RAW ROADWAY PATH
- RAIL TRACK (RFP @ 6.1)
- PROPOSED/EXISTING COPIEDS
- PROPOSED/EXISTING TO BE MAINTAINED
- RAIL ROAD STRUCK
- ILLUSTRICAL CORNER
- LEARNER'S RAILROAD
- WALKWAY
- STATIONARY SENSOR LINE
- LOCAL MAIN SANITARY SLUVE
- PROPOSED CURB/ELEVATION
- EXISTING CURB/ELEVATION
- HEADWALLS AT CROSSING
- PROP HYDRAULIC
- ELECTRIC TRANSFORMER
- CONNECTIONS TO BOX RISER
- SPREADER BAR/VALVE
- SUBMERGED MANHOLE
- WATER VALVE
- WATER METER
- LOW POINT DRAINAGE

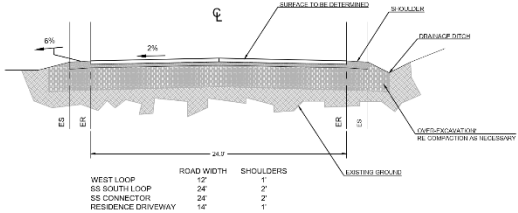
WALKING PATH(S):
SCALE 1" = 2'



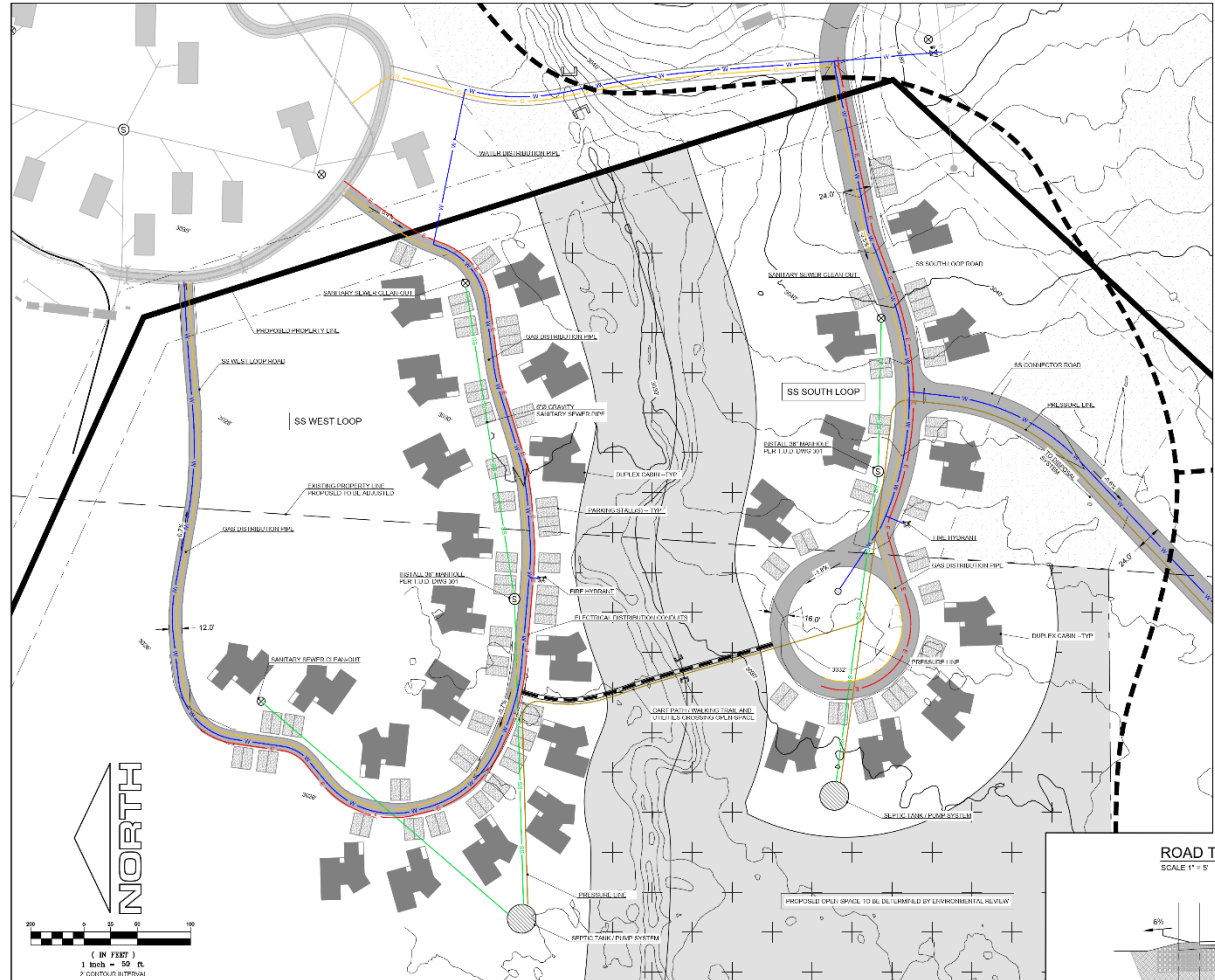
WALKING PATHS TO BE PROVIDED IN ALL PROPOSED IMPROVEMENT AREAS AND IN ANY OTHER AREAS DETERMINED TO BE NECESSARY THROUGH THE DESIGN PROCESS.
SURFACE FINISH TO BE DETERMINED THROUGH THE DESIGN PROCESS. LIMITS BROOKS, SEE PROFILES FOR CONSTRUCTION DETAILS FOR CONCRETE.

CONDITIONAL USE PERMIT APPLICATION DEC 2023

ROAD TEMPLATES:
SCALE 1" = 5'



TYPICAL STREET SECTIONS INTERIOR ROADWAYS AND AS DIMENSIONED ABOVE.
ER EDGE OF ROAD
ES EDGE OF SHOULDER



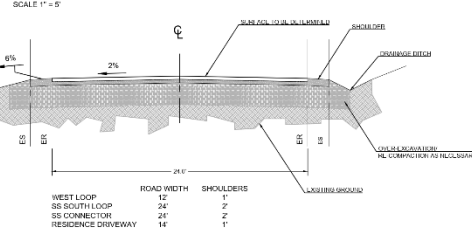
PROJECT NOTES:

- BURIED LOCATIONS ARE CONCEPTUAL ONLY. EXACT LOCATIONS WILL BE DETERMINED BY THE OWNER IN THE FUTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITIES, IMPACTS TO EXISTING AND ADJACENT TOWNS.
- WORKING AT ALL TIMES WILL BE FULLY COMPLIED WITH ALL APPLICABLE REGULATIONS AND STANDARDS TO BE IN COMPLIANCE.

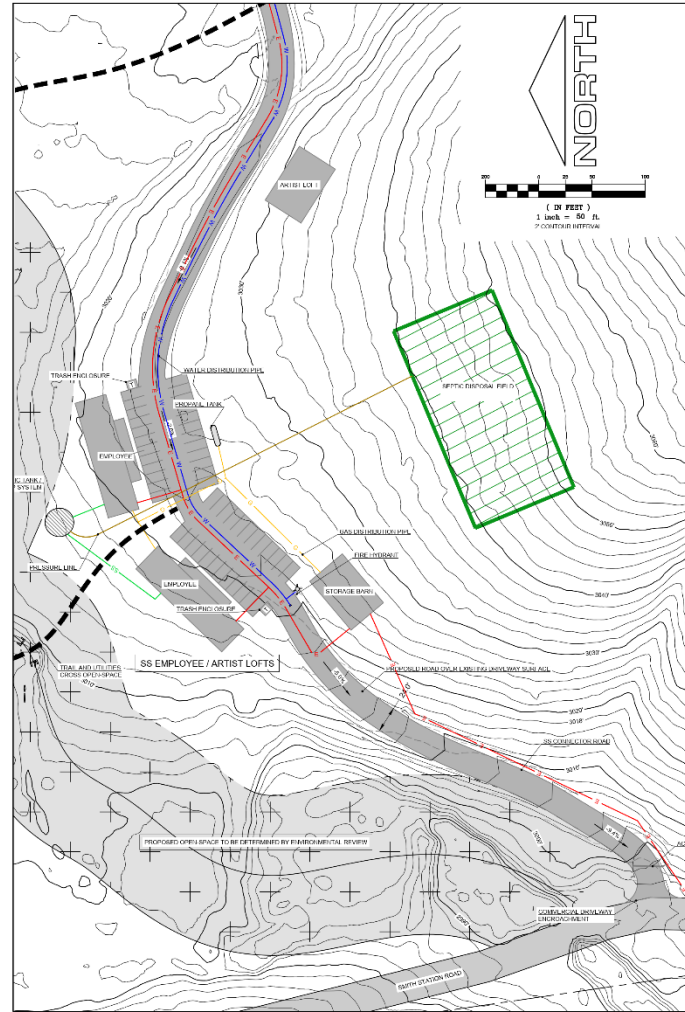
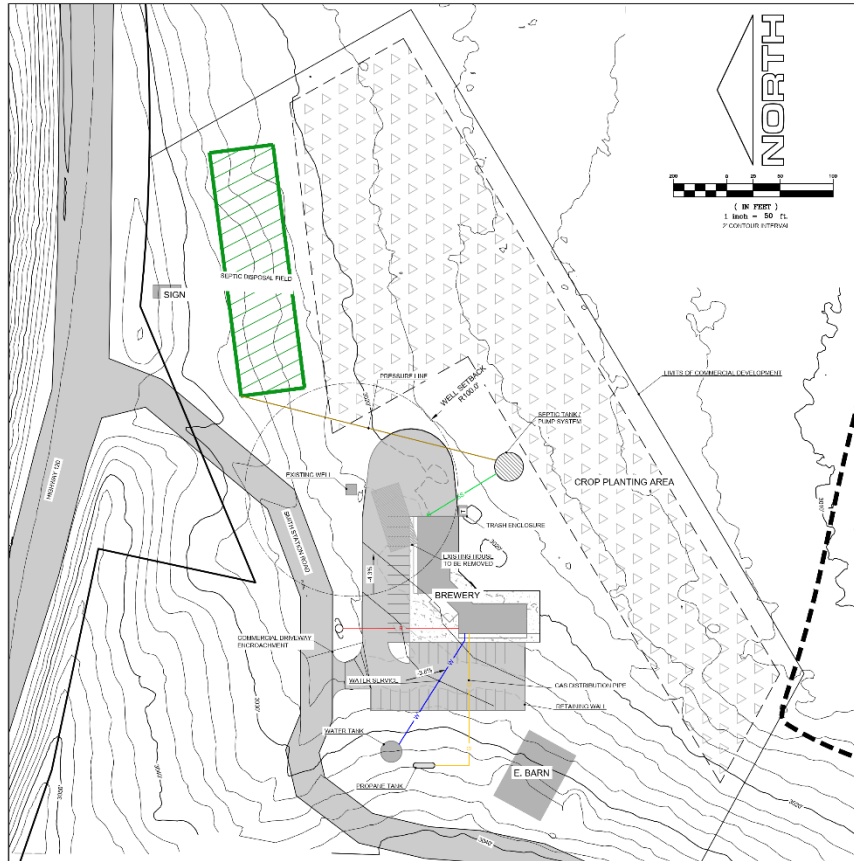
LEGEND & ABBREVIATIONS

[Symbol]	PROPOSED FIRE WALKWAY TRAILS	[Symbol]	1" INCH EYEWALL
[Symbol]	WALKWAY (4'x8')	[Symbol]	ELECTRIC HARRY CHANNEL
[Symbol]	WALKWAY (4'x8') (AS BUILT)	[Symbol]	COMMUNICATIONS BOX / PHEBUS
[Symbol]	PROPOSED PARTING COUROUTERS	[Symbol]	SEWER MANHOLE
[Symbol]	EXISTING COUROUTERS TO BE MODIFIED	[Symbol]	SEWER CLEANOUT
[Symbol]	BUILDING NETWORK	[Symbol]	WELL/VAULT
[Symbol]	UTILITY CONDUIT	[Symbol]	WATERS APERT
[Symbol]	SEWER NETWORK	[Symbol]	
[Symbol]	WATER LINE	[Symbol]	
[Symbol]	SAFETY APERTURE	[Symbol]	
[Symbol]	EXISTING HOLLOW WALL	[Symbol]	
[Symbol]	PROPOSED OPENING	[Symbol]	
[Symbol]	EXISTING OPENING	[Symbol]	
[Symbol]	HEADWALL AT CROSSING	[Symbol]	

ROAD TEMPLATES:



CONDITIONAL USE PERMIT APPLICATION
DEC 2023



Land & Structure
SURVEYING | ENGINEERING | DESIGN
166 SOUTH STEWART STREET, SONOMA, CALIFORNIA, 95321 P. 209.532.9220

REVISIONS:

rev	date	description

OWNER INFORMATION:
BOYER TRUST
23050 COFFILL ROAD
TWIN HARTS, CA 95383
Ph 209.768.1959

SITE INFORMATION:
APH 066-250-045
Groveland, California 95321

PROJECT INFORMATION:
A Site Improvement Plan for
Firefall Smith Station Expansion
Groveland, California 95321
Ph 209.768.1959

ENGINEER OF RECORD:

ISSUE DATE: 12/19/2023

DRAWN BY: RC

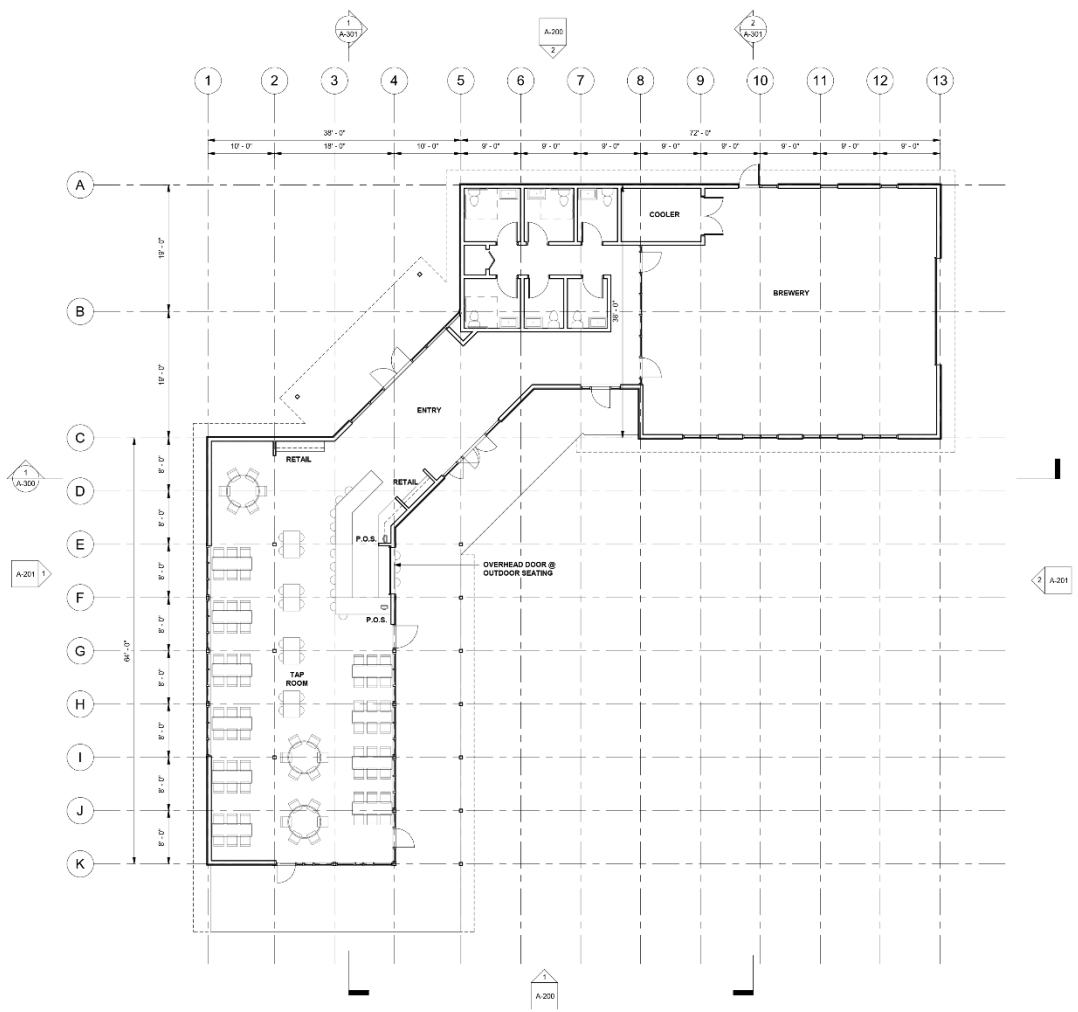
CHECKED BY: ZRS

SCALE: 1" = 50'

DRAWING: CONCEPT

PROJECT NO: 20-05-32

SHEET: 3 OF 3



GENERAL FLOOR PLAN NOTES

- 1 ALL SPACES TO MAINTAIN FIRE PROTECTION REQUIREMENTS
- 2 PROVIDE AIR RETURNS AND TRANSERS AS REQUIRED TO MAINTAIN MECHANICAL REQUIREMENTS
- 3 ALL DOORS TO BE INSTALLED 4" FROM ADJACENT PERPENDICULAR WALL U.O.N.
- 4 DIMENSIONS ARE TAKEN TO FACE OF STUDS, U.O.N.
- 5 WINDOW AND DOOR DIMENSIONS ARE TO THE CENTERLINE

FLOOR PLAN LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- (E) WALLS TO REMAIN
- (N) WALLS
- TEMPORARY CONSTRUCTION BARRIER

ARCHITECTURAL PLAN SHEET NOTES

ARCHITECT
UNUM
 collaborative
 1490 N LAFAYETTE STREET, SUITE 206
 DENVER, CO 80218
 610.442.1739

FIREFALL RESORT - BREWERY
 24025 HWY 120
 Groveland, CA 95321

NOT FOR CONSTRUCTION

History	Date
SC@HATC DESIGN	02.12.2021
DD PROGRESS	05.05.2021

DATE:	2.12.2021
PROJECT #:	2020.09
DRAWN BY:	AA
DESIGNED BY:	AA
CHECKED BY:	JP

1ST FLOOR PLAN

CONDITIONAL USE PERMIT APPLICATION, DEC 2023

1 1ST FLOOR PLAN
 1/8" = 1'-0"

THE ORIGINAL OF THIS DRAWING IS 24" X 36". IF THIS COPY IS ANY OTHER SIZE, IT HAS EITHER BEEN REDUCED OR ENLARGED.

FIREFALL RESORT - BREWERY
 24025 HWY 120
 Groveland, CA 95321

**NOT FOR
 CONSTRUCTION**

History	Date
SCHEMATIC DESIGN	02.2.2021
DD PROGRESS	05.02.2021

DATE:	2.12.2021
PROJECT #:	2020.09
DRAWN BY:	AA
DESIGNED BY:	AA
CHECKED BY:	JP

EXTERIOR
 VISUALIZATIONS



CLAD WOOD WINDOW SYSTEM
 W/ EXPOSED TIMBER FRAMING
 HORIZONTAL GHOSTWOOD SIDING
 WITH VERTICAL BATTENS

STANDING SEAM
 ROOF

EXPOSED TIMBER
 FRAMING

WOOD OR LANDSCAPED PATIO

2 EXTERIOR VISUALIZATION @ PATIO
 NTS



EXTERIOR SILO

HORIZONTAL GHOSTWOOD SIDING
 WITH VERTICAL BATTENS

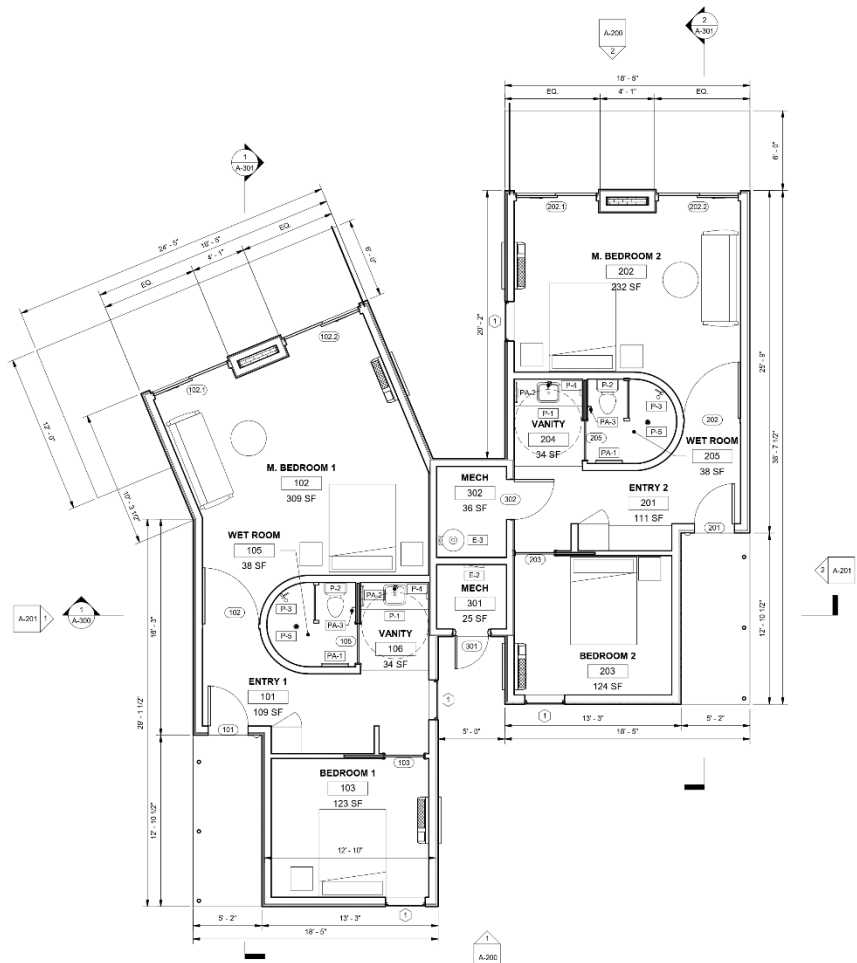
HORIZONTAL WOOD SIDING

EXPOSED TIMBER STRUCTURE

1 EXTERIOR VISUALIZATION @ ENTRY
 NTS

THE ORIGINAL OF THIS DRAWING IS 24" X 36". IF THIS COPY IS ANY OTHER SIZE, IT HAS EITHER BEEN REDUCED OR ENLARGED.

**CONDITIONAL USE
 PERMIT APPLICATION,
 DEC 2023**



1 1ST FLOOR PLAN
1/4" = 1'-0"

THE ORIGINAL OF THIS DRAWING IS 24" X 36". IF THIS COPY IS ANY OTHER SIZE, IT HAS EITHER BEEN REDUCED OR ENLARGED.

GENERAL FLOOR PLAN NOTES

- 1 PROVIDE AIR RETURNS AND TRANSFERS AS REQUIRED TO MAINTAIN MECHANICAL REQUIREMENTS
- 2 ALL DOORS TO BE INSTALLED 8" FROM ADJACENT PERPENDICULAR WALL U.N.O.
- 3 DIMENSIONS ARE TAKEN TO FACE OF STUDS UNLTD.
- 4 WINDOW AND DOOR DIMENSIONS ARE TO THE CENTERLINE

FLOOR PLAN LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- (E) WALLS TO REMAIN
- (N) WALLS
- TEMPORARY CONSTRUCTION BARRIER

ARCHITECTURAL PLAN SHEET NOTES

PLUMBING FIXTURE SCHEDULE						
MARK	MANUFACTURER	MODEL	DESCRIPTION	FINISH	COUNT	NOTES
P-1	TRUEFORM CONCRETE	FLOATING HALF-TROUGH CONCRETE SINK	60" SINGLE SINK VANITY	CONCRETE	2	
P-2	TOTO	CST746CUMFG	DRAKE TOILET	WHITE	2	
P-3	AMERICAN STANDARD	STUDIO S SHOWER HEAD AND TRIM	WALL MOUNT HAND SHOWER WITH HOSE	MATTE BLACK	2	
P-4	DELTA	559HA-DST	BATHROOM FAUCET	MATTE BLACK	2	
P-5	WESTBRASS	D206P-62	SHOWER DRAIN	MATTE BLACK	2	

EQUIPMENT SCHEDULE						
MARK	MANUFACTURER	MODEL	DESCRIPTION	FINISH	COUNT	NOTES
E-1	NAPOLEON	ACIES SEE THROUGH FIREPLACE	36" DBL SIDED GAS BLACK FIREPLACE		2	
E-2	TBD	TBD	ELECTICAL PANEL		1	
E-3	TBD	TBD	TANK WATER HEATER		1	

PLUMBING ACCESSORIES SCHEDULE						
MARK	MANUFACTURER	MODEL	DESCRIPTION	FINISH	COUNT	NOTES
PA-1	AMERICAN STANDARD	STUDIO S 24"	TOWEL BAR	MATTE BLACK	2	
PA-2	AMERICAN STANDARD	STUDIO S 18"	TOWEL BAR	MATTE BLACK	2	
PA-3	AMERICAN STANDARD	STUDIO S TISSUE PAPER HOLDER	TISSUE PAPER HOLDER	MATTE BLACK	2	

ARCHITECT
UNUM
collaborative
1490 N. LAFAYETTE STREET, SUITE 206
DENVER, CO 80218
610.442.1739

YOSEMITE CATTLE COMPANY
24025 HWY 120
Groveland, CA 95321

NOT FOR CONSTRUCTION

History	Date
INITIAL CASH/RECORD	09-24-2020

DATE: 09/24/2020
PROJECT #: 2020/09
DRAWN BY: KH
DESIGNED BY: AS
CHECKED BY: JP

1ST FLOOR PLAN

CONDITIONAL USE PERMIT APPLICATION, DEC 2023

1 OF 2

YOSEMITE CATTLE COMPANY
 24025 HWY 120
 Groveland, CA 95321

NOT FOR
 CONSTRUCTION

History	Date

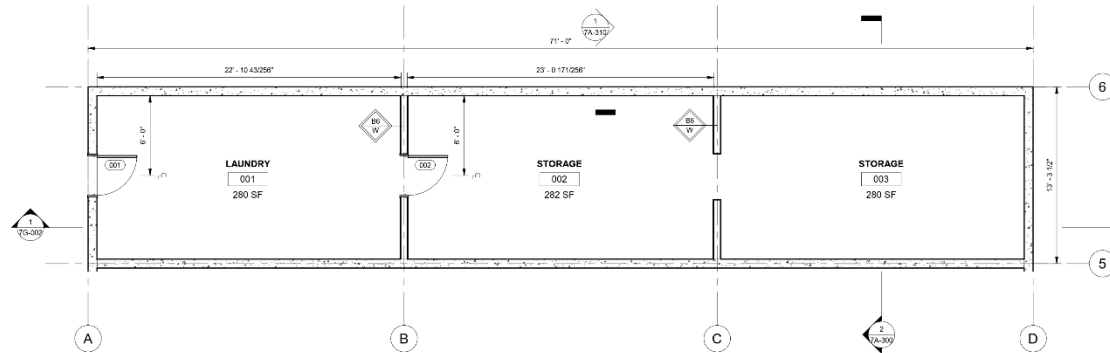
DATE:	09.24.2020
PROJECT #:	2020.09
DRAWN BY:	AS
DESIGNED BY:	AS
CHECKED BY:	JP

EXTERIOR RENDERINGS

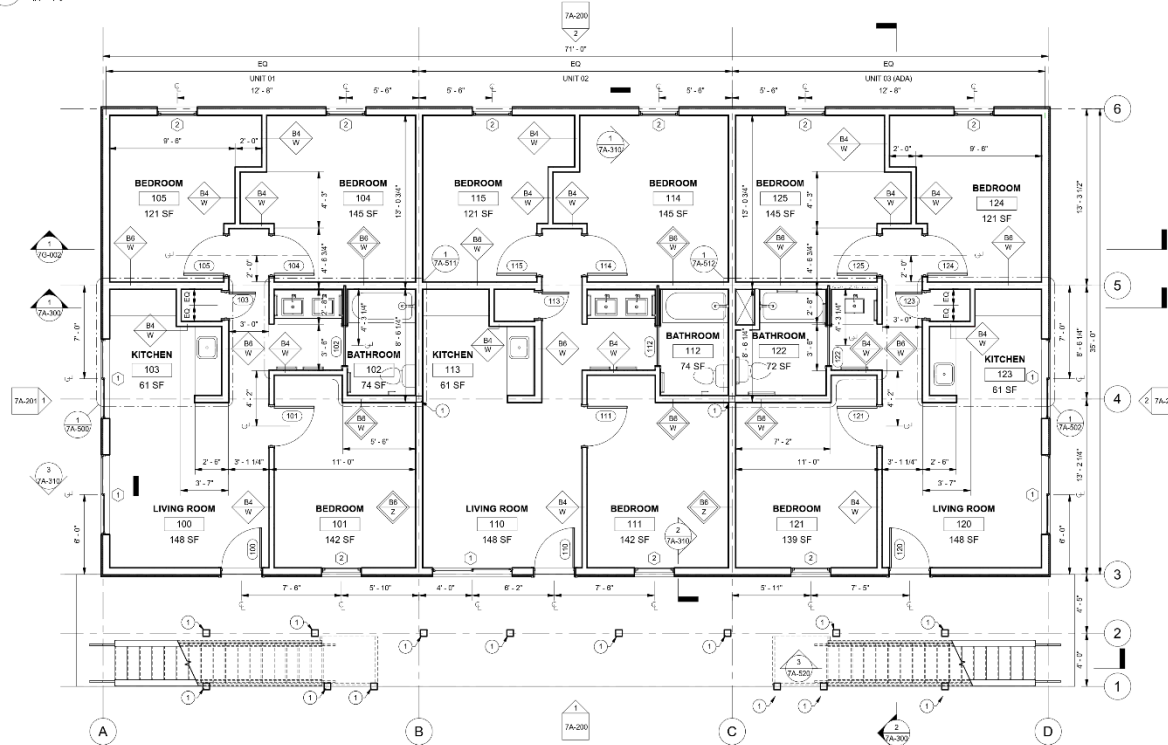


1 EXTERIOR RENDERING 1
 NTS

CONDITIONAL USE
 PERMIT APPLICATION,
 DEC 2023



2 BASEMENT OVERALL FLOOR PLAN
1/4" = 1'-0"



1 1ST FLOOR OVERALL PLAN
1/4" = 1'-0"

GENERAL NOTE:
UNIT 1 DIMENSIONS ARE TYPICAL FOR ALL UNITS.

GENERAL FLOOR PLAN NOTES

- 1 ALL INTERIOR DOORS TO BE INSTALLED IF FROM ADJACENT PERPENDICULAR WALL U.N.O.
- 2 PROVIDE AIR RETURNS AND TRANSFERS AS REQUIRED TO MAINTAIN MECHANICAL REQUIREMENTS
- 3 WINDOW AND DOOR DIMENSIONS ARE TO THE CENTERLINE
- 5 DIMENSIONS ARE TO OUTSIDE OF STUD WALLS, CONCRETE WALLS, OR CMU U.N.O.

1ST FLOOR & BASEMENT PLAN SHEET NOTES

- 1 WOOD COLUMN RE. STRUCTURAL DRAWINGS FOR SIZE

ARCHITECT
UNUM
collaborative
1490 N LAFAYETTE STREET, SUITE 408
DENVER, CO 80218
610.442.1733

FIREFALL LODGE
STAFF HOUSING
24025 HWY 120
Groveland, CA 95321

STAMP & SIGNATURE

NOT FOR CONSTRUCTION

History	Date
SCHEMATIC DESIGN	10/2/2022

DATE:	10/21/2022
PROJECT #:	2022.42
DRAWN BY:	JH/EK
DESIGNED BY:	JP/AS
CHECKED BY:	JP/AS

1ST FLOOR & BASEMENT
OVERALL PLAN

1 OF 4

GENERAL FLOOR PLAN NOTES

- 1 ALL INTERIOR DOORS TO BE INSTALLED 6" FROM ADJACENT PERPENDICULAR WALL U.L.O.
- 2 PROVIDE AIR RETURNS AND TRANSFERS AS REQUIRED TO MAINTAIN MECHANICAL REQUIREMENTS
- 3 WINDOW AND DOOR DIMENSIONS ARE TO THE CENTERLINE
- 5 DIMENSIONS ARE TO OUTSIDE OF STUD WALLS, CONCRETE WALLS, OR CMU U.L.O.

ARCHITECTURAL PLAN SHEET NOTES

- 1 WOOD COLUMN: RE: STRUCTURAL DRAWINGS FOR SIZE

FIREFALL LODGE
 STAFF HOUSING
 24025 HWY 120
 Groveland, CA 95321

STAMP & SIGNATURE:

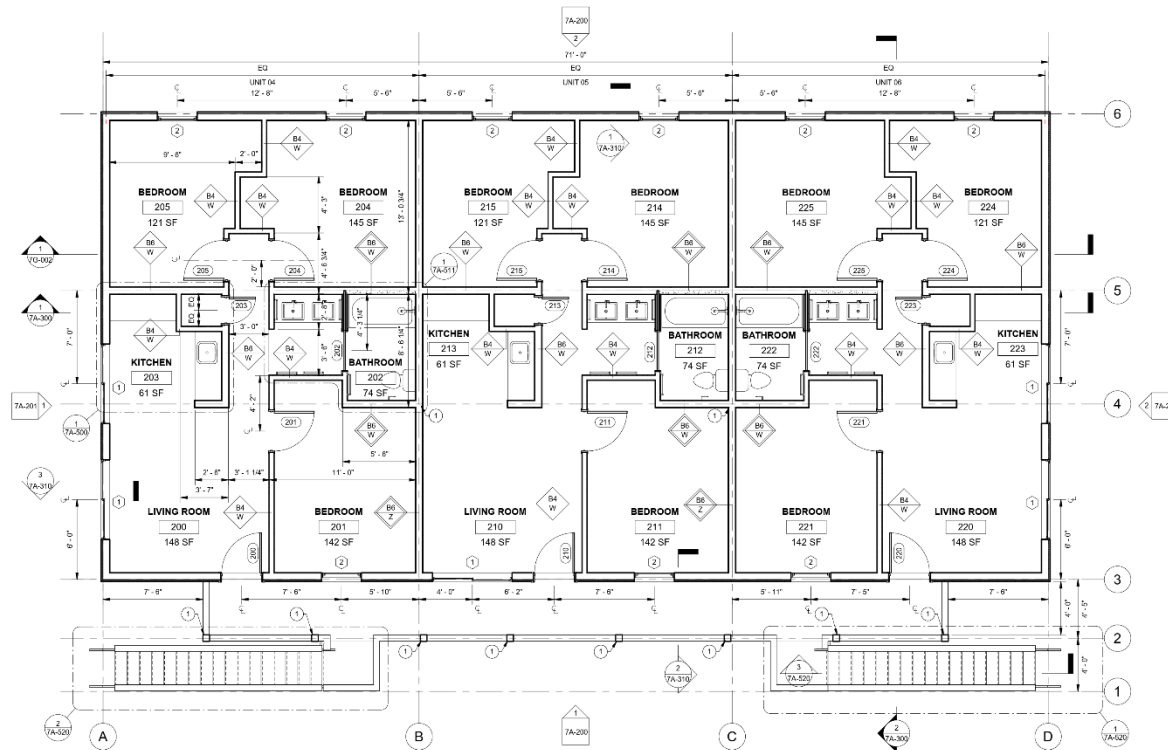
NOT FOR CONSTRUCTION

History	Date
SCHEMATIC DESIGN	10/2/2022

DATE:	10/21/2022
PROJECT #:	2022.42
DRAWN BY:	JH/EK
DESIGNED BY:	JR/AS
CHECKED BY:	JR/AS

2ND FLOOR OVERALL
 PLAN

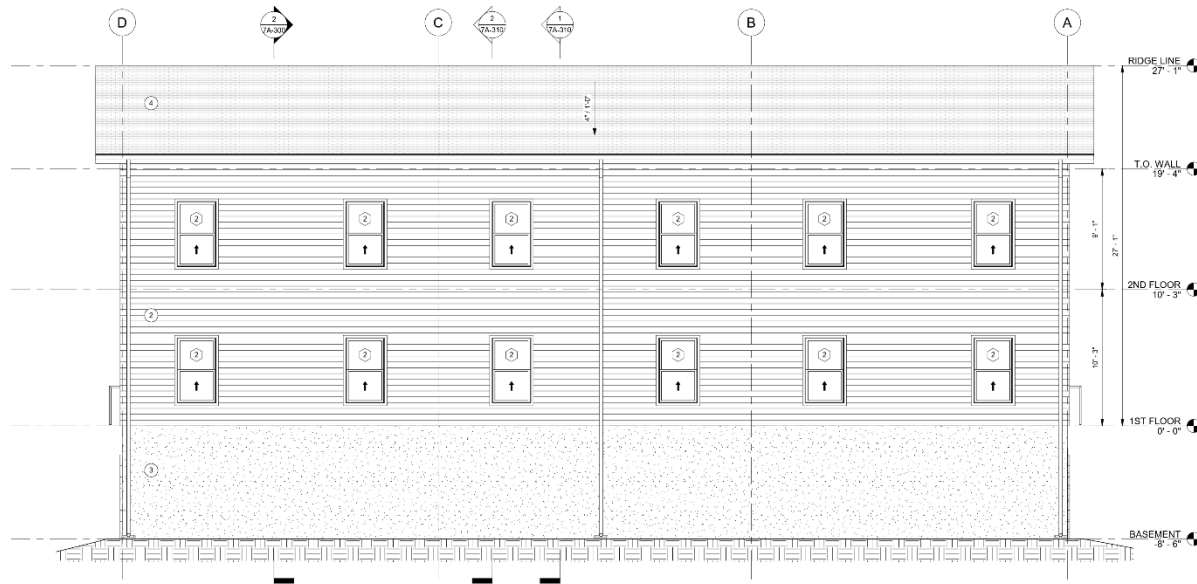
2 OF 4



1 2ND FLOOR OVERALL PLAN
 1/4" = 1'-0"

GENERAL NOTE:
 UNIT 1 DIMENSIONS ARE TYPICAL FOR ALL UNITS.

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2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

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ELEVATION FINISH LEGEND

-  CEDAR, COLOR SIDING
-  ASPHALT SHINGLES
-  CONCRETE

ELEVATION SHEET NOTES

- 1 EXTERIOR SCENIC AT ENTRY DOORS.
- 2 CEDAR SIDING.
- 3 CONCRETE FOUNDATION WALL, WITH STONE VENEER TO MATCH OTHER RESORT BUILDING BASES.
- 4 ASPHALT SHINGLE ROOFING (TYP.)
- 5 WOOD FRAMED STAIRS W/ WOOD TREAD & RISERS. WOOD POST RAILING.

ARCHITECT
UNUM
collaborative
1490 N LAFAYETTE STREET, SUITE 408
DENVER, CO 80218
610.442.1733

FIREFALL LODGE
STAFF HOUSING
24025 HWY 120
Groveland, CA 95321

STAMP & SIGNATURE

NOT FOR CONSTRUCTION

History	Date
SCHEMATIC DESIGN	10/2/2022




DATE:	10/21/2022
PROJECT #:	2022_42
DRAWN BY:	JH/EK
DESIGNED BY:	JR/AS
CHECKED BY:	JR/AS

CONDITIONAL USE PERMIT APPLICATION, DEC 2023

EXTERIOR ELEVATIONS

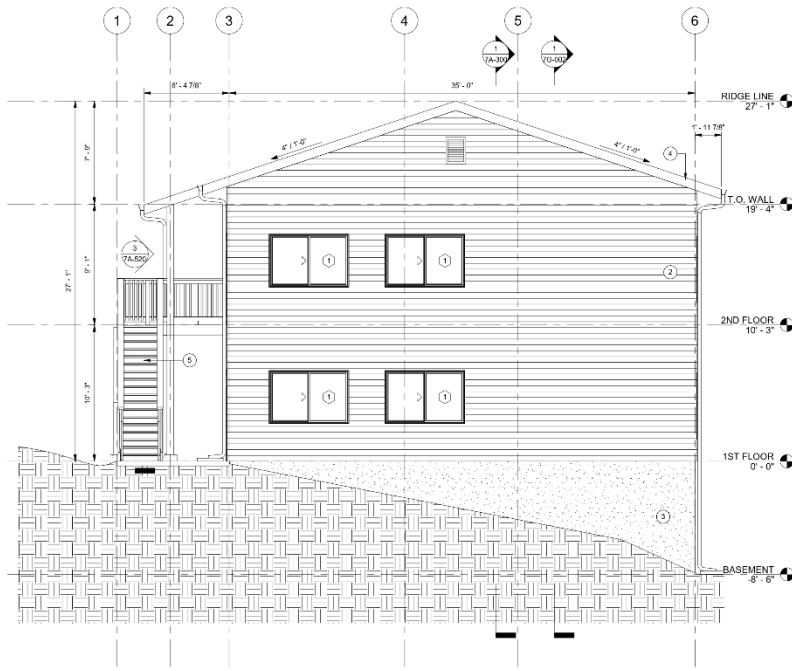
3 OF 4

ELEVATION FINISH LEGEND

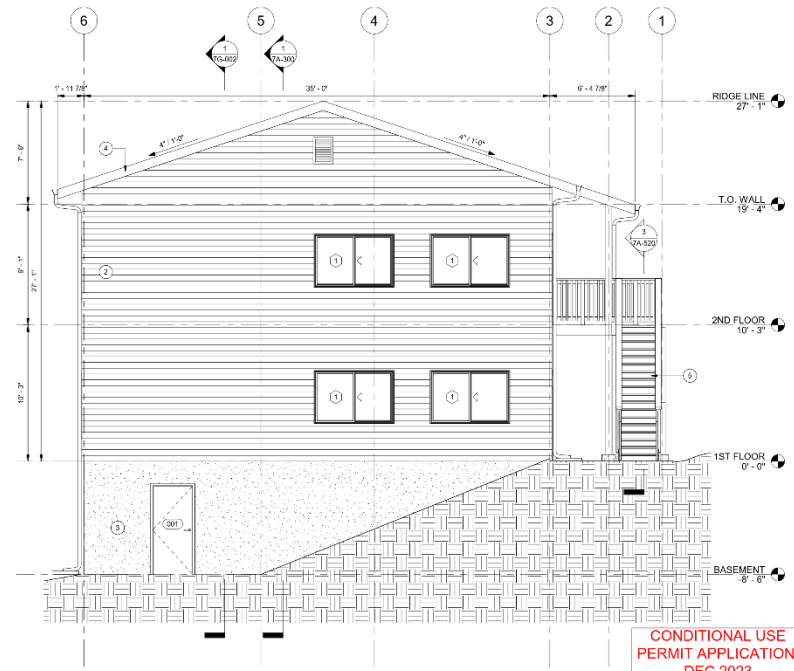
-  CEDAR, COLOR TBD
-  ASPHALT SHINGLES
-  CONCRETE

ELEVATION SHEET NOTES

- 1 EXTERIOR SCONCE AT ENTRY DOORS
- 2 CEDAR SIDING
- 3 CONCRETE FOUNDATION WALL, WITH STONE VANEER TO MATCH OTHER RESORT BUILDING SIDINGS
- 4 ASPHALT SHINGLE ROOFING (TYP)
- 5 WOOD FRAMED STAIRS W/ WOOD TREAD & RISERS, WOOD POST RAILING



2 EAST ELEVATION
 1/4" = 1'-0"



1 WEST ELEVATION
 1/4" = 1'-0"

**CONDITIONAL USE
 PERMIT APPLICATION,
 DEC 2023**

FIREFALL LODGE
 STAFF HOUSING
 24025 HWY 120
 Groveland, CA 95321

STAMP & SIGNATURE:

**NOT FOR
 CONSTRUCTION**

History: Date

SCHEMATIC DESIGN 10.21.2022

DATE: 10.21.2022

PROJECT #: 2022.42

DRAWN BY: JH/EK

DESIGNED BY: JP/AS

CHECKED BY: JP/AS

EXTERIOR ELEVATIONS

THE ORIGINAL OF THIS DRAWING IS 24" X 36". IF THIS COPY IS ANY OTHER SIZE, IT HAS EITHER BEEN REDUCED OR ENLARGED.



SCALE: 1/4" = 1'-0"

FRONT ELEVATION E1



SCALE: 1/4" = 1'-0"

LEFT ELEVATION E2



REVISION		
REV	DATE	DESCRIPTION

OWNER INFORMATION:

BOYER TRUST
23050 COFFILL ROAD
TWAIN HARTÉ, CA 95383
PH: 209.788.1959

SITE INFORMATION:

Groveland, CA, 95321
APN 066-250-046
APN 066-250-047

PROJECT INFORMATION:

A Private Residence for:
Firefall Resort
Groveland, CA, 95321
PH: 209.788.1959

ENGINEER OF RECORD:

CONDITIONAL USE PERMIT APPLICATION DEC 2023

These drawings are prepared and used in accordance with the provisions of the California State Board of Professional Engineers, Architects and Surveyors. The Engineer of Record is not responsible for the accuracy of the information provided by the client or the contractor. The Engineer of Record is not responsible for the accuracy of the information provided by the client or the contractor. The Engineer of Record is not responsible for the accuracy of the information provided by the client or the contractor.

ISSUE DATE:	05/02/23
DRAWN BY:	RC
CHECKED BY:	JG
SCALE:	AS NOTED
DRAWING:	Elevation
PROJECT NO.:	20-05-32
SHEET:	1 of 4



SCALE: 1/4" = 1'-0"

REAR ELEVATION E3



SCALE: 1/4" = 1'-0"

RIGHT ELEVATION E4



118 SOUTH STEWART STREET, SONOMA, CALIFORNIA, 95070 T: 209.632.6172 F: 209.632.6209

REV	DATE	DESCRIPTION

OWNER INFORMATION:
 BOYER TRUST
 23050 COFFILL ROAD
 TWAIN HARTÉ, CA 95383
 PH: 209.788.1959

SITE INFORMATION:
 Groveland, CA, 95321
 APN 066-250-046
 APN 066-250-047

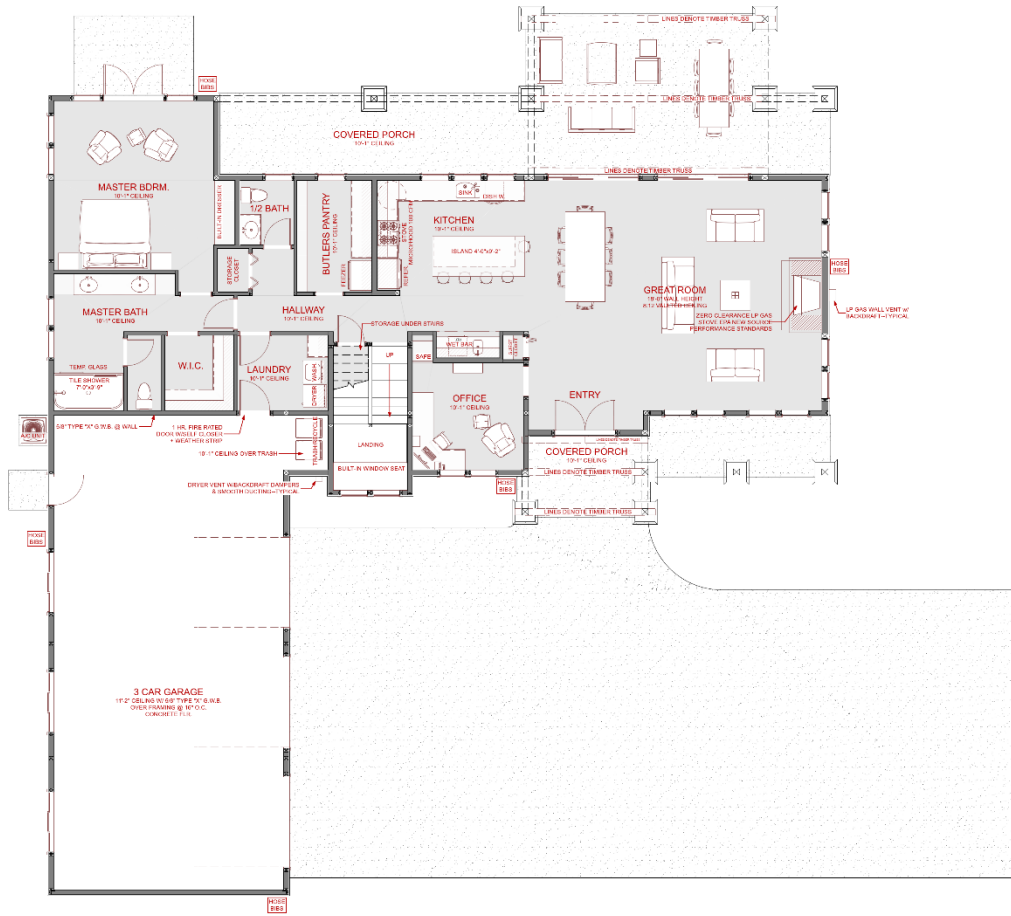
PROJECT INFORMATION:
 A Private Residence for:
 Firefall Resort
 Groveland, CA, 95321
 PH: 209.788.1959

ENGINEER OF RECORD:



ISSUE DATE:	05/02/23
DRAWN BY:	RC
CHECKED BY:	ZS
SCALE:	AS NOTED
DRAWING:	Elevation
PROJECT NO.:	20-05-32
SHEET:	2 OF 4

CONDITIONAL USE
 PERMIT APPLICATION
 DEC 2023



SCALE: 3/16" = 1'-0"

2169 SQ. FT. **GROUND FLOOR PLAN**



REVISION:		
REV	DATE	DESCRIPTION

OWNER INFORMATION:
 BOYER TRUST
 23050 COFFILL ROAD
 TWAIN HART, CA 95383
 PH: 209.788.1959

SITE INFORMATION:
 GROVELAND, CA. 95321
 APN 066-250-046
 APN 066-250-047

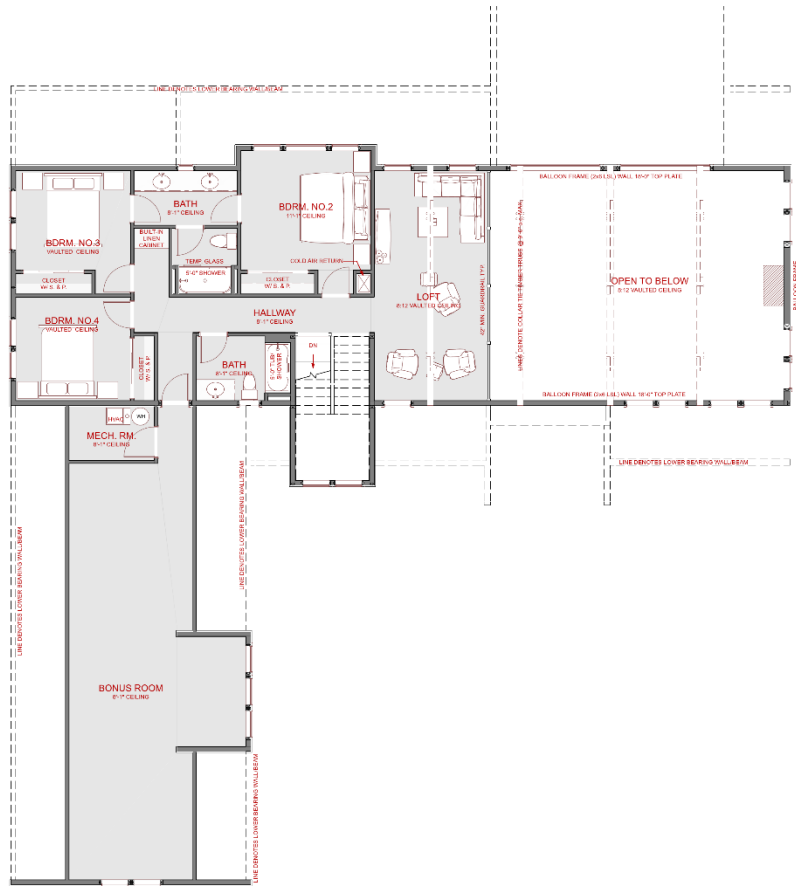
PROJECT INFORMATION:
A Private Residence for:
 Firefall Resort
 Groveland, CA. 95321
 PH: 209.788.1959

ENGINEER OF RECORD:

These drawings are prepared and used for purposes of the application for a permit only. They are not intended for construction. The contractor shall verify all dimensions and conditions on site. The engineer shall be responsible for the accuracy of the drawings and the information provided thereon.

ISSUE DATE	05/20/23
DRAWN BY	RC
CHECKED BY	ZS
SCALE	AS NOTED
DRAWING	Floor Plan
PROJECT NO.	20-05-32
SHEET	3 4

CONDITIONAL USE PERMIT APPLICATION
 DEC 2023



SCALE: 3/16" = 1'-0"

1816 SQ. FT. **FIRST FLOOR PLAN**

**CONDITIONAL USE
PERMIT APPLICATION
DEC 2023**



REVISION:
REV. DATE DESCRIPTION

OWNER INFORMATION:
BOYER TRUST
23050 COFFILL ROAD
TWAIN HART, CA 95383
PH: 209.788.1959

SITE INFORMATION:
Groveland, CA, 95321
APN 066-250-046
APN 066-250-047

PROJECT INFORMATION:

A Private Residence for:
Firefall Resort
Groveland, CA, 95321
PH: 209.788.1959

ENGINEER OF RECORD:



ISSUE DATE:	05/2023
DRAWN BY:	RC
CHECKED BY:	ZS
SCALE:	AS NOTED
DRAWING:	Floor Plan
PROJECT NO.:	20-05-32
SHEET:	4 OF 4



COUNTY STAKEHOLDER NOTIFICATION RESPONSE FORM

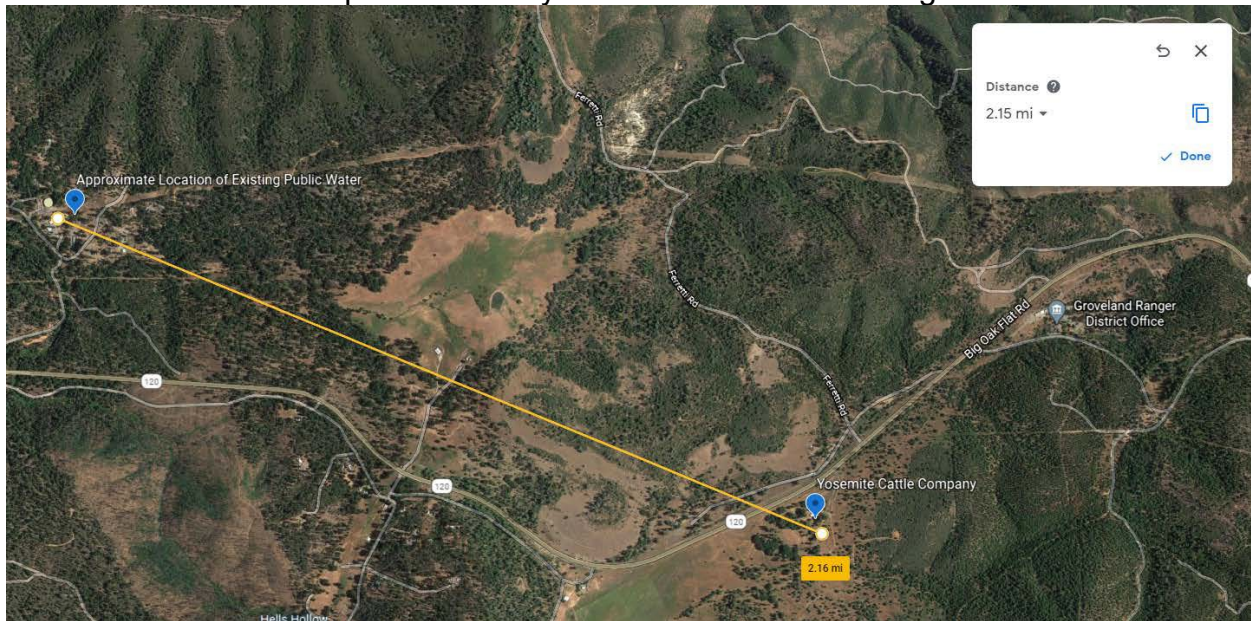
COUNTY PROJECT NUMBER: LUNR-23-14

PROJECT APPLICANT: Robert Boyer

PROJECT DESCRIPTION: Construction of Resort Adjacent to Firefall Resort

District Response:

The Groveland Community Services District is the local government entity and utility provider of water, sewer, fire protection and recreational park services. The proposed project is located outside of the district's boundaries, and located approximately 2.2 miles from the District's public water system as shown on the diagram below:



For the project site to receive services from the district, including public water service, fire protection and emergency response services, the property will be required to annex to the Groveland Community Services District.

The initial study for the project to needs to evaluate and document the ability of the Groveland Community Services District Fire Department (GCSD or District) to meet its

adopted emergency response standards for emergency calls occurring within the District boundaries when an emergency call occurs at the project location. If the District Fire Department were to respond to an emergency call at the project site, the ability to implement its own emergency response plan standard would be impaired and creates a hazard to life and property.

There is no fire station, other than GCSD Station 78, within 45 minutes travel time of the project location, with a guaranteed fire engine, staffed full time, year round and able to respond to emergency calls at the project site. The Tuolumne County Fire engine currently collocated at the GCSD Station 78 is only contracted to be in that location until August 2024.

The CEQA document must evaluate and document the ability of the Groveland Community Services District Fire Department (GCSD or District) to meet its adopted emergency response standards for wildland fire calls occurring within the District boundaries when an emergency call occurs at the project location. If the District Fire Department were to respond to an emergency call at the project site located outside the District boundaries, the ability of the District would be impeded to respond to an evolving wildfire scenario within the District boundaries, indirectly exposing people to a significant risk of loss, injury or death while the fire burns unchecked until the single District engine and crew can respond back from the project location to the incident scene.

Ensure that County Policy 9.A.1 is followed: *Actively involve fire protection agencies within Tuolumne County in land use planning decisions.*

Ensure that County Policy 9.E.3 is followed: *Require new development to be consistent with State and County regulations and policies regarding fire protection.*

The District, who is, after August 2024 the only fire department that would respond to emergency calls on the project site, must be consulted to discuss the need for emergency responses to the project site and their potential impact on the emergency call response times and adopted standards of the Groveland Fire Department or its ability to even respond to the project site.

The County of Tuolumne does not operate a fire station in the Groveland area, nor does it currently fund the CAL FIRE Amador Plan in Groveland, which in prior years provided a non-fire season staffed engine to respond to 911 calls. The Tuolumne County Fire engine currently collocated at the GCSD Station 78 is only contracted to be in that location until August 2024. Fire and emergency response will obviously need to be provided to this site by the Groveland CSD Fire Department. Without a county fire station in the area and lacking a perpetual agreement for the staffed county fire engine to remain in Groveland, there is no assurance that the project will be provided fire protection services by the County. Without a County staffed engine within 45 minutes of the project site, they cannot provide effective mutual aid, and the District is left as the only responding fire department unless a staffed CAL FIRE engine is located in its

Merrell Road Station. The GCSD fire department will respond to the project site under the Mutual Aid Agreement, so long as a staffed County fire engine is located permanently in Groveland. The project must annex to the boundaries of GCSD or contract with them, for the District fire department to respond to emergency calls on the project site as the first-in, or only engine.

As stated above, the CEQA analysis must engage and review the impact on services provided by GCSD, or its ability to meet its adopted emergency response time standards should it respond to emergency calls at the project site. While on a call to the project site and with no County engine, a simultaneous call for a cardiac arrest in Big Oak Flat would render the District department unable to meet its service commitments and obligations to its taxpayers, unfairly risking the lives and property of our citizens, and those who pay for this service.

The project site is not served by the Groveland CSD because it is located outside its boundaries and sphere of influence (SOI). The project will require fire response services, and as there is no County Fire Department situated near the project, pursuant to Cortese-Knox, the Tuolumne County LAFCo must conduct a SOI study to determine the appropriate service provider. The County cannot simply assign responsibility for these services to GCSD as the project is located outside its statutory boundaries and SOI, and requires a contract or annexation to receive services.

The project site currently receives fire services from the Tuolumne County Fire Department engine located at the GCSDS station until August 2024, and GCSD responds under mutual aid so long as a County funded engine and crew is permanently located in Groveland; in a new staffed County fire station or collocated with GCSD permanently (with station improvements).

Just as the Terra Vi and Under Canvas resort projects, approval of this project must be conditioned on the payment of its fair share of the cost of providing emergency response services. As the services exist today, without a permanent staffed County Fire engine in Groveland, the project will result in potentially significant impacts to the fire and emergency response services in Groveland. The placement of a permanent staffed County Fire Engine in Groveland will mitigate those impacts to a less than significant level.

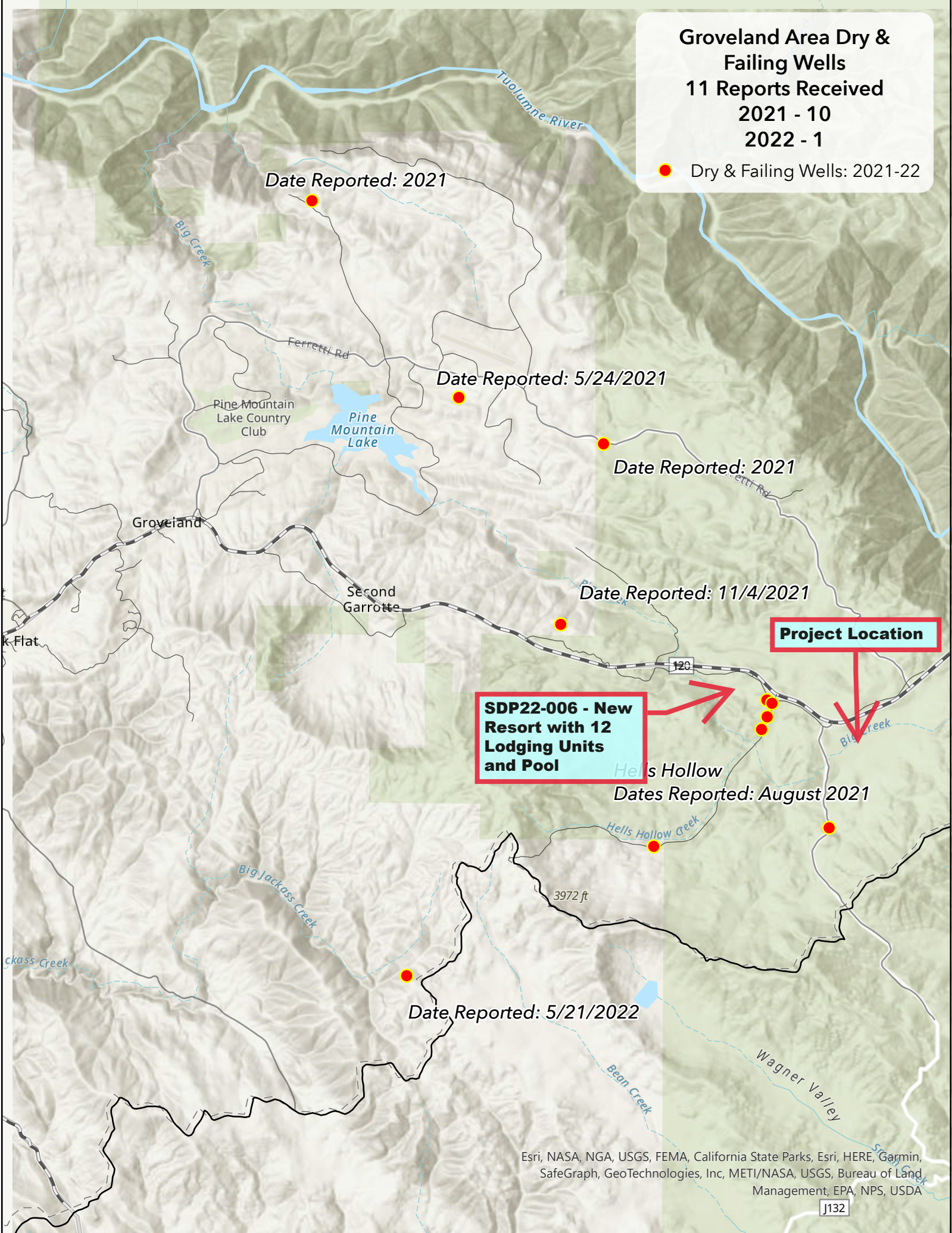
The Project proponent reached out to GCSD in 2020 to determine the feasibility and requirements of connecting to the District public water system. Documentation submitted to the District relating to the project described site improvements as 55 villas, a main lodge, a pool/spa area with a snack bar, a restaurant/bar, brewery, and a barn. As required by state law, the Project was to contact the local water provider to determine if connection to the public system was possible, before a separate state water system permit can be issued without connection to the public system. At that time, with a smaller sized project, connection to the GCSD water system was not financially feasible.

This project application doubles the demand for water service on the project site, and given the failure rate of wells in the vicinity, as well as the requirement for a water treatment plant (WTP), the Project should be required to connect to the GCSD system. The County and state have a large shortage of state certified water treatment operators, which are required to operate the WTP and it will be difficult for the Project to comply with State regulations. The project must be required to secure a new or amended permit from the state Division of Drinking Water to include the additional water demand. In addition, an additional lodging project is being considered near the Project site, which could have partnered in installation of the water main extension, reducing the cost for both properties.

The project is located in the Big Creek drainage, which traverses the property. Big Creek is tributary to Pine Mountain Lake, which is also a source of public water supply for GCSD. The operation of a very large septic or wastewater treatment system directly adjacent to this creek should be closely evaluated.

Groveland Area Dry & Failing Wells
11 Reports Received
2021 - 10
2022 - 1

● Dry & Failing Wells: 2021-22



Esri, NASA, NGA, USGS, FEMA, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA



COMMUNITY DEVELOPMENT DEPARTMENT

Quincy Yaley, AICP
Director

Land Use and Natural Resources – Housing and Community Programs – Environmental Health – Building and Safety – Code Compliance

Date: **December 6, 2022**
To: Interested Stakeholder
From: Tuolumne County Community Development Department
RE: Site Development Permit SDP22-006
Assessor's Parcel Number: 066-260-039

48 Yaney Avenue, Sonora
Mailing: 2 S. Green Street
Sonora, CA 95370
(209) 533-5633
(209) 533-5616 (Fax)
(209) 533-5909 (Fax – EHD)
www.tuolumnecounty.ca.gov

The Community Development Department thanks you for your participation in the land development process in Tuolumne County. We value your comments and look forward to your continued participation in our planning process. This process provides information on your requirements and concerns to the applicant early in the review process. Involvement on your part can eliminate or minimize problems that could arise later.

Owner: Stephanie Wohlfiel

Applicant: Landon Blake, Redefined Horizons

Project: Site Development Permit SDP22-006 to allow a recreational development consisting of twelve guest cabins, swimming pool, yoga dome, and associated infrastructure on a 14.1± acre parcel zoned C-K (Commercial Recreation) under Title 17 of the Tuolumne County Ordinance Code (TCOC).

Location: The project site is located at 23003 and 23015 Sprague Road East in the Community of Groveland. Within a portion of Section 29, Township 1 South, Range 17 East Mount Diablo Baseline and Meridian and within Supervisorial District 4. Assessor's Parcel Numbers 066-260-039.

Access: Sprague Road East

Sewage Disposal Method: On Site Wastewater Treatment System

Water Source: Well

Fire Hazard Rating: Very High fire hazard severity zone

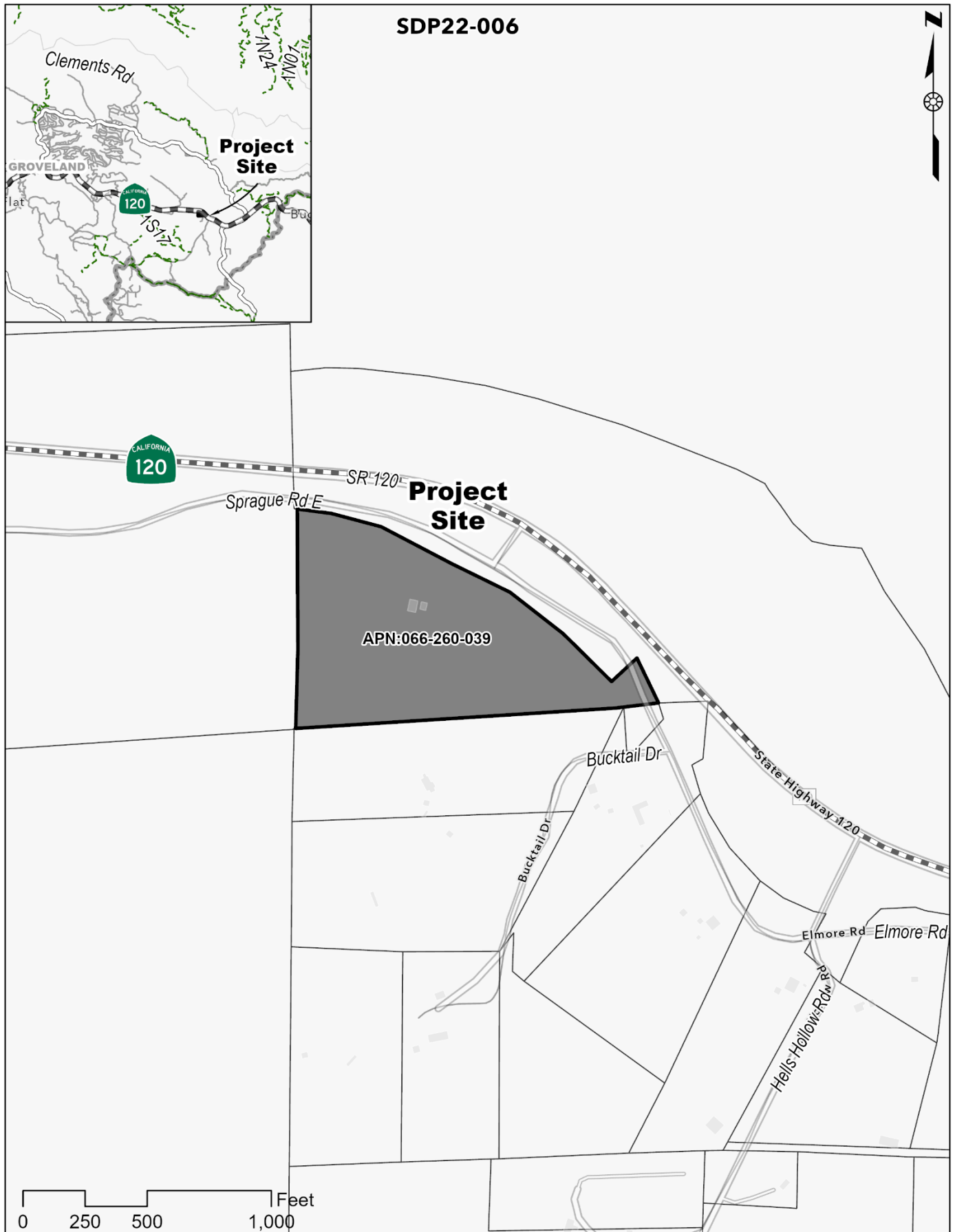
Additional Information:

1. The project would consist of twelve guest cabins rented out for overnight stays. The cabins would consist of prefabricated units. The yoga dome and other amenities on site would be for guests only. The facility proposes to be open year-round.

Please return your comments to the CDD by **January 6, 2023**. Comments may be emailed to Natalie Rizzi, nrizzi@co.tuolumne.ca.us Comments may also be mailed to: 2 South Green Street, Sonora, CA 95370 or brought to the Community Development Department at 48 Yaney Avenue during business hours.

Staff Contact: Natalie Rizzi
Phone: (209) 533-5936
Email: nrizzi@co.tuolumne.ca.us

Vicinity Map



Entire Parcel Site Plan

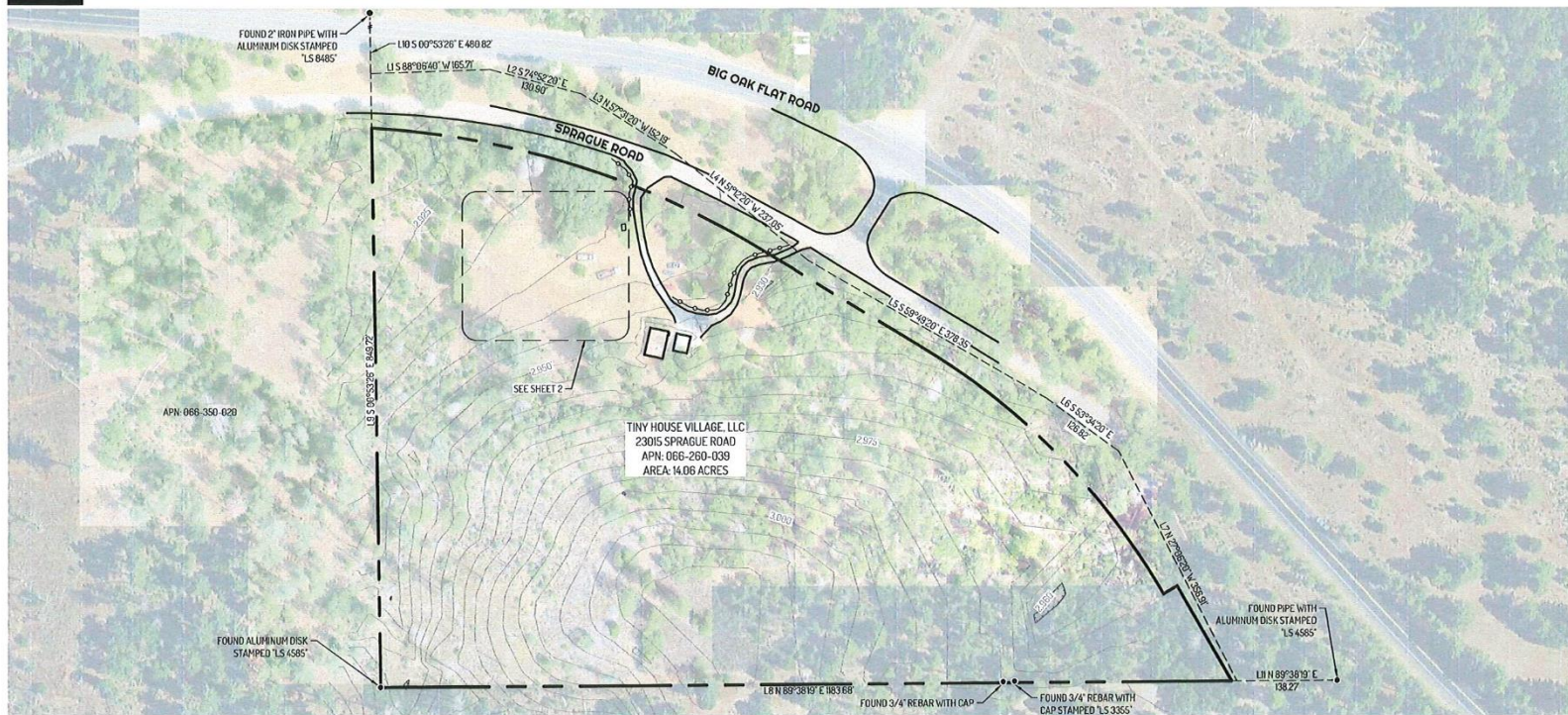


SITE PLAN

JOB #065-001

23015 SPRAGUE ROAD, GROVELAND, CALIFORNIA

SEPTEMBER 2022



REVISION HISTORY

VERSION 1.00: ORIGINAL DRAWING CREATION

PURPOSE

THE PURPOSE OF THIS SITE PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE SUBJECT PARCEL, ALONG WITH THE PROPOSED IMPROVEMENTS FOR A CAMPGROUND.

SURVEYOR NOTES

1) UAV ORTHOPHOTOGRAPHY FLOWN IN JULY 2022 AND IS SURVEY GRADE.

PROPOSED IMPROVEMENTS

THE PROPOSED IMPROVEMENTS SHOWN ON THIS SITE PLAN ARE FOR THE PURPOSES OF LAND USE PLANNING. THE PROPOSED IMPROVEMENTS ARE NOT THE RESULT OF CIVIL ENGINEERING ANALYSIS OR DESIGN. THE TOTAL SQUARE FOOTAGE OF PROPOSED IMPROVEMENTS IS APPROXIMATELY 7,800 SQUARE FEET.

LEGEND

- FOUND MONUMENT AS NOTED
- C CALCULATED
- HRC HELD RECORD
- MHD MONUMENT
- M MEASURED
- PC PROPERTY CORNER
- PGB POINT OF BEGINNING
- R RECORD

UNITS

- UNLESS OTHERWISE NOTED:
- 1) ALL DISTANCES SHOWN ARE IN US SURVEY FEET.
 - 2) ALL ANGLES AND BEARINGS ARE SHOWN IN DEGREES/MINUTES/SECONDS FORMAT.
 - 3) DISTANCES SHOWN ARE GROUND (NOT GRID) DISTANCES.

LINETYPES

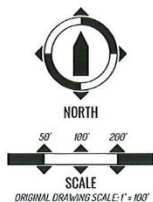
- EXISTING PARCEL BOUNDARY
- - - TIE LINE
- EXISTING PAVEMENT LINE
- - - EXISTING FENCE LINE
- - - EXISTING BUILDING LINE
- PROPOSED BUILDING LINE
- - - PROPOSED ACCESS ROAD
- - - PROPOSED UTILITY LINE
- PROPOSED SEPTIC AREA
- PROPOSED PARKING AREA

OWNER INFORMATION

TINY HOUSE VILLAGE, LLC
23015 SPRAGUE ROAD, GROVELAND, CALIFORNIA

SURVEYOR INFORMATION

SCOTT LANDON BLAKE - PLS 0489
365 WEST F STREET, OAKDALE, CALIFORNIA



RECEIVED

SEP 29 2022

**Community Development
Department**

Close Up Site Plan

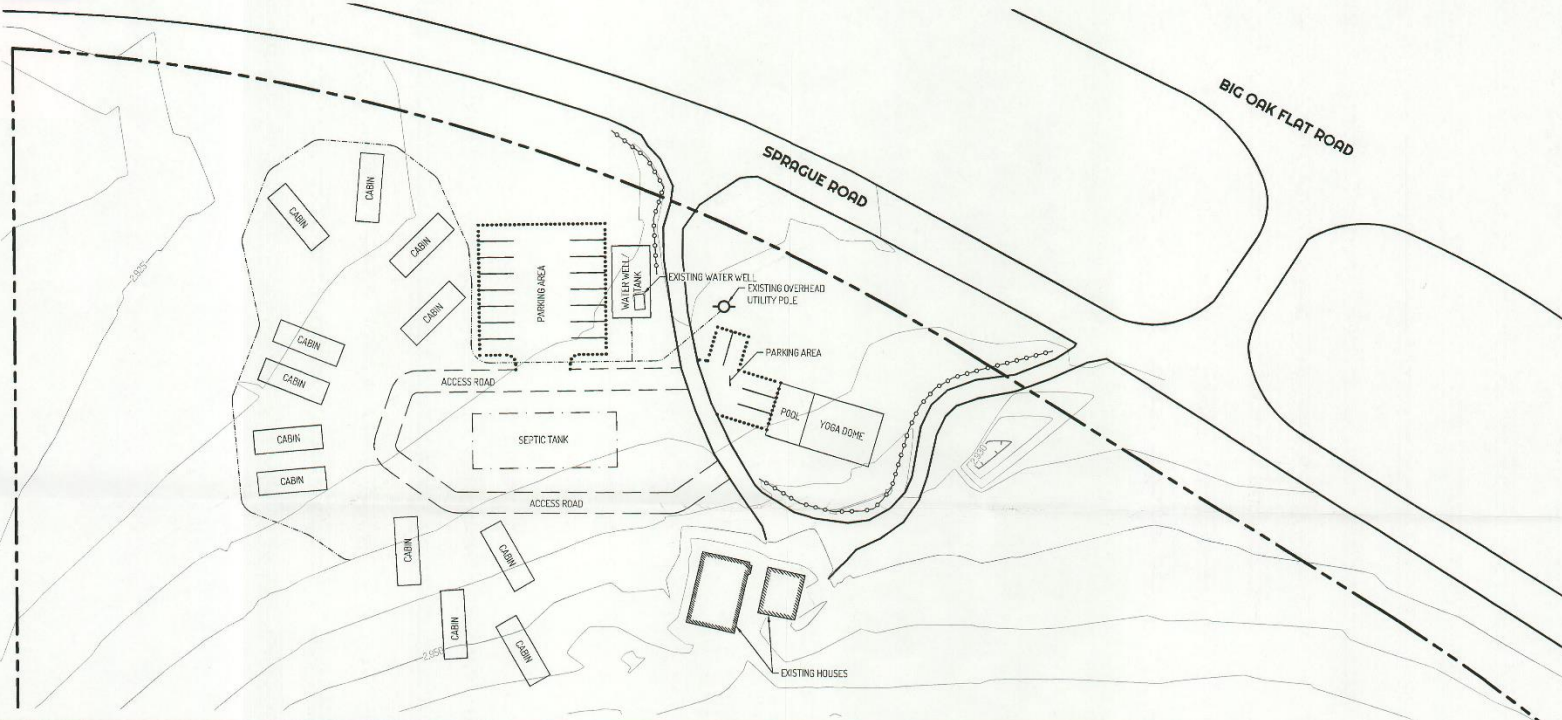


SITE PLAN

JOB #065-001

23216 SPRAGUE ROAD, GROVELAND, CALIFORNIA

SEPTEMBER 2022



REVISION HISTORY

VERSION 1.00. ORIGINAL DRAWING CREATION

PURPOSE

THE PURPOSE OF THIS SITE PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE SUBJECT PARCEL, ALONG WITH THE PROPOSED IMPROVEMENTS FOR A CAMPGROUND.

SURVEYOR NOTES

1) UAV ORTHOPHOTOGRAPHY FLDWN IN JULY 2022 AND IS SURVEY GRADE.

PROPOSED IMPROVEMENTS

THE PROPOSED IMPROVEMENTS SHOWN ON THIS SITE PLAN ARE FOR THE PURPOSES OF LAND USE PLANNING. THE PROPOSED IMPROVEMENTS ARE NOT THE RESULT OF CIVIL ENGINEERING ANALYSIS OR DESIGN. THE TOTAL SQUARE FOOTAGE OF PROPOSED IMPROVEMENTS IS APPROXIMATELY 7,800 SQUARE FEET.

LEGEND

- C CALCULATED
- HRC HELD RECORD
- MBO MONUMENT
- M MEASURED
- PC PROPERTY CORNER
- PGB POINT OF BEGINNING
- R RECORD

UNITS

- UNLESS OTHERWISE NOTED:
- 1) ALL DISTANCES SHOWN ARE IN US SURVEY FEET.
 - 2) ALL ANGLES AND BEARINGS ARE SHOWN IN DEGREES/MINUTES/SECONDS FORMAT.
 - 3) DISTANCES SHOWN ARE GROUND (NOT GRID) DISTANCES.

LINETYPES

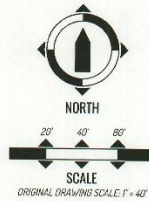
- EXISTING PARCEL BOUNDARY
- - - - - TIE LINE
- EXISTING PAVEMENT LINE
- EXISTING FENCE LINE
- EXISTING BUILDING LINE
- PROPOSED BUILDING LINE
- PROPOSED ACCESS ROAD
- PROPOSED UTILITY LINE
- PROPOSED SEPTIC AREA
- PROPOSED PARKING AREA

OWNER INFORMATION

TINY HOUSE VILLAGE, LLC
23216 SPRAGUE ROAD, GROVELAND, CALIFORNIA

SURVEYOR INFORMATION

SCOTT LANDON BLAKE - PLS 8489
315 WEST F STREET, OAKDALE, CALIFORNIA

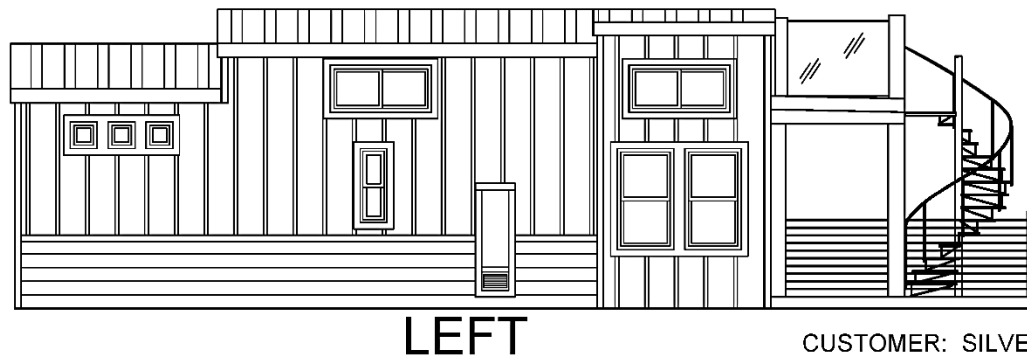
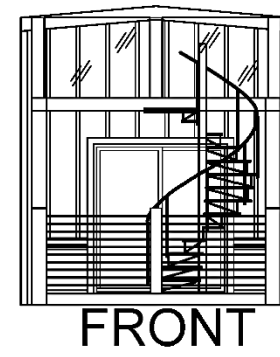
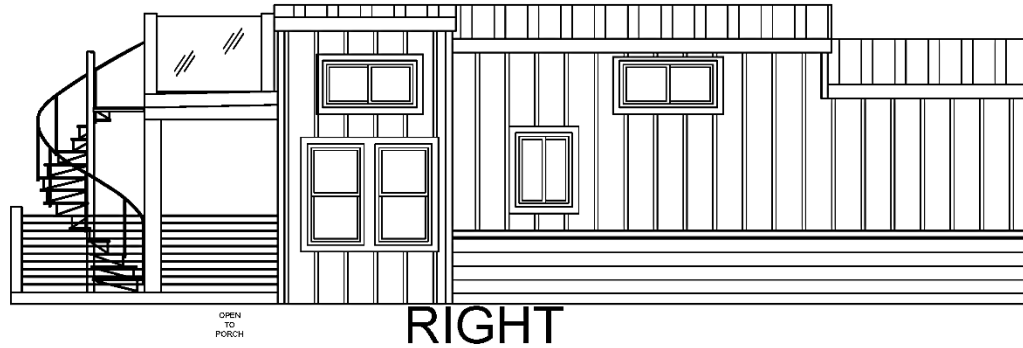


RECEIVED

SEP 20 2022

Community Development
Department

Typical Elevation



CUSTOMER: SILVERCREST ATH-15 DISPLAY
(NAVISION REVISION # NONE)



COUNTY STAKEHOLDER NOTIFICATION RESPONSE FORM

COUNTY PROJECT NUMBER: SDP22-006

PROJECT APPLICANT: Landon Blake, Redefined Horizons

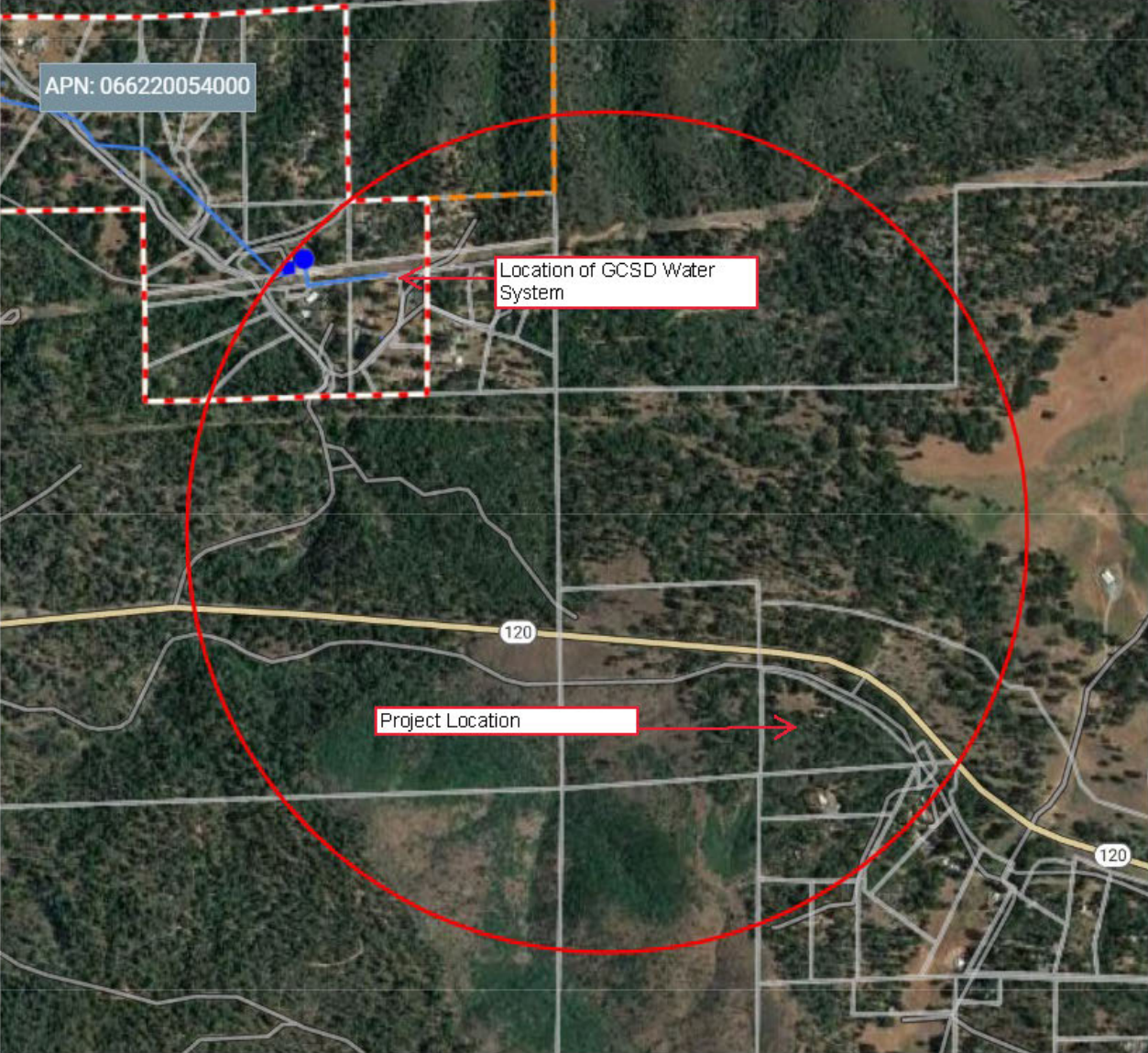
PROJECT DESCRIPTION: Site Development Permit SDP22-006 to allow a recreational development consisting of twelve guest cabins, swimming pool, yoga dome, and associated infrastructure on a 14.1± acre parcel zoned C-K (Commercial Recreation) under Title 17 of the Tuolumne County Ordinance Code (TCOC).

District Response:

The Groveland Community Services District is the local government entity and utility provider of water, sewer, fire protection and recreational park services.

The proposed project is located outside of the district's boundaries, but within 4000 feet of the District's public water system as shown on the attached diagram. Also attached for reference is a groundwater well failure report compiled by Tuolumne County showing a high number of failed wells in the location of the proposed project. Creation of an additional transient-public water system serving the project could be problematic. Connection to the public water system should be encouraged.

For the project site to receive services from the district, including public water service, fire protection and emergency response services, the property will be required to annex to the Groveland Community Services District.



APN: 066220054000

Location of GCSD Water System

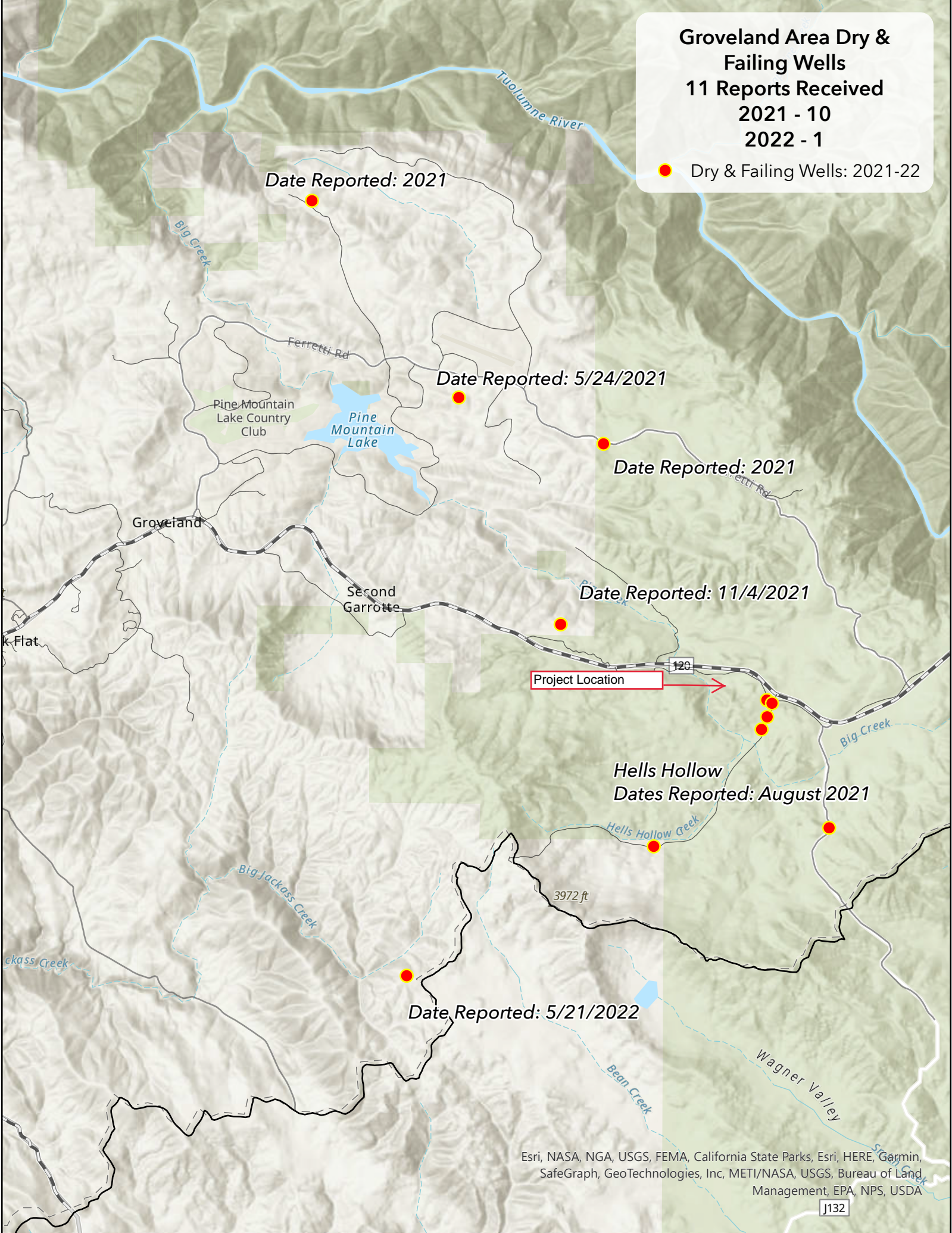
Project Location

120

120

Groveland Area Dry & Failing Wells
11 Reports Received
2021 - 10
2022 - 1

● Dry & Failing Wells: 2021-22



Date Reported: 2021

Date Reported: 5/24/2021

Date Reported: 2021

Date Reported: 11/4/2021

Hells Hollow
Dates Reported: August 2021

Date Reported: 5/21/2022